

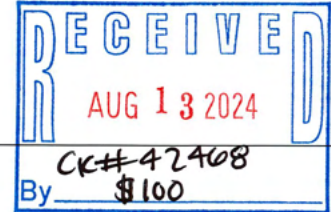


Newport Zoning Application

ZBR 2024 - Sept - 009

(This box for staff use only)

DATE STAMP HERE



Date: August 13, 2024

Board members:

The undersigned hereby petitions the Zoning Board of Review for a special use permit or a variance in the application of the provisions or regulations of the Zoning Ordinance affecting the following described premises in the manner and on the grounds hereinafter set forth.

Location of Premises

Street & No: 7 & 9 Dearborn Street

Tax Assessor's Plat: 32 Lot: 214 Zoning District: R-10

- Special Use Permit (Non-Conforming Alteration)
- Regulatory (Dimensional) Variance
- Special Use Permit (New Use)
- Use Variance
- Modification

Property Owner: Taj Residences, LLC

Mailing Address: 57 Marchant Street, Newport, RI 02840

Email Address: _____

Phone Number: _____

How long have you been the owner of the above premise? 5 Months (3/7/2024)

Legally Authorized Representative *if applicable: J. Russell Jackson, Esq.

Mailing Address: 122 Touro Street, Newport RI 02840

Email Address: jrjackson@millerscott.com Phone Number: 401-847-7500

Lessee: N/A

Mailing Address: _____

Email Address: _____ Phone Number: _____



Newport Zoning Application

Property Characteristics

Dimensions of lot-frontage: 42.11 ft. Lot Area: 4,292 sq. ft.

Are there buildings on the premises at present? Yes

Total square footage of the footprint of existing buildings: 1,816 sq. ft.

Total square footage of the footprint of proposed buildings: 1,690 sq. ft.

Zoning Characteristics Matrix

	Existing	Required/Allowed	Proposed
Lot Size (sq. ft.)	4,292	10,000	4,292
Coverage Area (sq. ft)	1,816	1,348.5	1,690
Lot Coverage (%)	42.3	31.42	39.38
Dwelling Units	4	4	3
Parking (# of spaces)	0	6	0
Front Setback (ft.)	0'	0'	0'
Side Setbacks (ft.)	W=2.4', E=3.2'	4.3'	W=2.4', E=3.2'
Rear Setback (ft.)	53' +/-	8.6'	50' +/-
Height (ft.)	30'	30	30'

Existing Shed Setbacks: Rear-6.3', West Side-2.5'

Proposed Pergola Setbacks: Rear-25', West Side-4.5'



Newport Zoning Application

All of the following information and questions must be filled in and answered completely.

Present use of Premise: Four Unit Multi Family Residence

Proposed use of Premise: Three Unit Multi Family Residence

Summary of Proposed Alterations

The Applicant seeks relief under the following provisions of the Zoning Code:

- Section 17.72.030 (Alteration to Nonconforming Development)
- Section 17.109.010 (Special Use Permits)
- Section 17.109.020(F) (Category 6 Special Use Permits-Modification of a 3rd floor deck and construction of new floor front porch)
- Section 17.108.020 (Variances)
- Section 17.20.040 (R-10 Setback Requirements)

The Applicant proposes to renovate, modernize and upgrade the existing four (4) unit multi family residence. The interior of the structure will be reconfigured to reduce the total number of dwelling units from four (4) to three (3), with one dwelling on each floor. The proposed renovations will essentially work within the footprint of the existing structure and will not increase lot coverage. An existing dilapidated shed in the rear yard will be removed. On the exterior, the entire structure will be resided, with new windows, a new roof and an architectural cupola. On the front elevation, the Applicant proposes to add a second level to the existing covered porch to provide outdoor living space to the second floor unit. The existing footprint of the porch encroaches into side setbacks and will therefore require a dimensional variance. On the rear of the property the existing third floor deck will be modified and slightly expanded to match the footprint of the existing rear wing of the building over which it sits. The existing rear staircase system will also be rebuilt and slightly reconfigured to provide safe secondary egress for each dwelling unit. An attractive pergola is proposed for the third floor deck and exterior stairs. Lastly, the rear yard will have a small patio area at grade with a pergola, which will meet the setback requirements.

The existing parcel is a legal non-conforming lot of record containing only 4,292 square feet of land. The property is in the R-10 Zone and is significantly substandard in size. It is located adjacent to the Limited Business Zone along lower Thames Street. The existing structures already exceed lot coverage and encroach into each of the side setbacks. As a result of the existing conditions and dimensional non-conformities, any reasonable modification of the property will result in the need for zoning relief. The new improvements will all work within the existing footprint and will not increase any dimensional non-conformities. Lot coverage will be reduced from existing conditions with the removal of the shed. Category 6 Special Use Permits are required for the alteration of a non-conforming development, the modification of the third floor deck and for the creation of a new second level above the existing front porch. The property is not in the Newport Historic District. The plan proposed by the Applicant is harmonious with the surrounding neighborhood and will not be injurious to, or inconsistent with the area or with the purpose and intent of the R-10 Zone.



Newport Zoning Application

Applicant Statement

How does your application meet the required standards for variance(s) or special use permit(s)?
(See page 6 for most common applicable standards)

The existing parcel is a legal non-conforming lot of record containing 4,292 square feet of land. The lot is significantly substandard for the R-10 Zone. The existing structures already exceed lot coverage, encroach into the side setbacks. Based on the size of the lot, the narrow lot shape, and the location of existing structures, any reasonable improvements, additions or modifications will require zoning relief. As a result of the conditions and circumstances that are peculiar to this non-conforming development, the proposed improvements will result in a minor encroachment of the proposed expanded front porch into the side setbacks.

The subject property is located on the south side of Dearborn Street. The neighborhood is fully developed with a number of other abutting parcels with existing dimensional nonconformities. Other properties also exceed lot coverage, and encroach into setbacks. The literal interpretation of the zoning code, resulting in the denial of the relief requested, would unreasonably deny this Applicant the ability to make the requested improvements for the full use and enjoyment of the property. The proposed improvements will be appropriate and consistent with the surrounding neighborhood, and the rights enjoyed by other property owners in this area of the R-10 Zone.

Overall, the project will be in compliance with the criteria for a Category 6 Special Use Permit. As stated, the project as proposed will not increase lot coverage. The property is in the R-10 residential zone. The use of the property will continue as a multi family development. It will therefore not alter the character of the surrounding area within two hundred (200) feet of the property lines. The modifications proposed by the Applicant will not result in an increase of impervious surface and will therefore not result in an increase in stormwater runoff from the site. Lastly, any new exterior lighting on the site will be dark sky compliant.

The Applicant has taken great care to develop a proposed improvement plan which is appropriate in scope, scale and size for this property. The overall proposal has been designed to create three (3) functional and modern dwelling units to meet the reasonable living needs of future owners with minimal dimensional variances. The hardship is driven by the substandard lot, the narrow lot width, and the fact that the existing structures already exceed lot coverage and encroach into setbacks. The Applicant is seeking the minimum variance which will allow the reasonable use of the property. Accordingly, the proposed use of the property and the relief sought by the Applicant will not be injurious to, or create a burden for abutting property owners, will be harmonious with the neighborhood, and will be appropriate for this area of the R-10 Zoning District.



Newport Zoning Application

Upon submittal of this application, please make sure you have also reviewed our Zoning Application Submittal Requirements packet, and included with your application, a copy of the Submittal Checklist which can also be found here: [Zoning Application Submittal Requirements](#). If an application is missing any submittal requirements and/or necessary application information, your application may be regarded incomplete. Incomplete applications will not be publicly advertised or appear on an agenda until the project is deemed complete.

By signing below, I hereby attest that the information provided is accurate and truthful. I also attest that I have read through this application thoroughly and understand what is required to submit a completed application.


Applicant Signature

August 13, 2024

Date


Owner Signature

Attorney for Applicant/Owner

Date



Newport Zoning Application

Applicable Standards for Approval of Variances and Special Use Permits for alterations to non-conforming developments

A. Variances – Newport Municipal Code Chapter 17.108

17.108.020.C.1. That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant, excepting those physical disabilities addressed in GLRI §45-34-30(a)(16).

17.108.020.C.2. That the hardship is not the result of any prior action of the applicant

17.108.020.C.3. That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance or the comprehensive plan upon which the ordinance is based.

The zoning board of review, shall, in addition to the above standards, require that evidence is entered into the record of the proceedings showing that:

- a. In granting a use variance the subject land or structure cannot yield any beneficial use if it is required to conform to the provisions of the zoning ordinance. Nonconforming use of neighboring lands or structures in the same district and permitted use of lands or structures in an adjacent district shall not be considered in granting a use variance; and
- b. In granting a dimensional variance, that the hardship suffered by the owner of the subject property if the dimensional variance is not granted amounts to more than a mere inconvenience, meaning that relief sought is minimal to a reasonable enjoyment of the permitted use to which the property is proposed to be devoted. The fact that a use may be more profitable or that a structure may be more valuable after the relief is granted shall not be grounds for relief. The zoning board of review, or planning board where unified development review is enabled shall have the power to grant dimensional variances where the use is permitted by a special use permit.

B. Special Use Permit – Newport Municipal Code Chapter 17.109

For applicable Standards for Special Use Permit Categories 1-5, please see Newport Municipal Code Chapter 17.109.020 A-E

Category 6

A structure or land which is nonconforming by dimension, but the use of which is a use permitted by right in the district in which the land or structure is located, shall only be altered, changed, enlarged or subject to addition or intensification with respect to its nonconforming element(s) by obtaining a special use permit from the zoning board of review. Special use permits for alterations, changes, enlargements, or subject to addition or intensification with respect to its nonconforming element(s) must comply with the following:

1. The alteration, change, enlargement, addition or intensification will not increase the dimensional nonconformity, or a variance shall be obtained from the zoning board of review, subject to the affirmative determination of the standards for variances under 17.108.020.C.
2. Will not alter the character of the surrounding area within 200' of the property lines.
3. No net increase in stormwater runoff from the site.
4. All proposed lighting is Dark-Sky compliant.

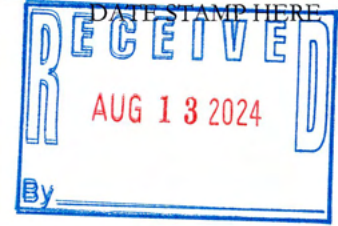


Newport Zoning Application Submittal Requirements

ZBR 2024 - Sept - 009

- Special Use Permit (new)
- Special Use Permit (modification)
- Variance
- Modification

(This box for staff use only)



SUBMITTAL REQUIREMENTS CHECKLIST

Applications that are missing materials in this checklist will not be accepted for review.

Section 1 – Application Forms – Page 3 of the Guide *Required for All Projects*

- A. Completed Zoning Project Application Packet comprised of the following individual sections:
 1. Zoning Project Application Form
 2. Completed copy of this Zoning Application Submittal Requirements Checklist (Page 2)
- B. Request to Waive any Submittal Requirements *(if applicable)*
- C. Application Fee (Please Refer to Current Fee Schedule)

Section 2 – Plan Package – Pages 4-7 of the Guide *Required for All Development Projects (Involving New Structures, Additions, Exterior Alterations, etc.) Individual requirements of the Plan Package (listed below) may differ depending on the project*

- A. Class I Site Survey
- B. Proposed Site Plan
- C. Lot Coverage Diagram
- D. Floor Plans
- E. Stormwater Management Plan
- F. Landscape Plan
- G. Building Elevations
- H. Change of Use

Section 3 – Supporting Documents, Studies, Graphics, and Depictions – Page 8 of the Guide *May be required for certain Development Projects*

- A. Site Photographs
- B. Photo Simulations
- C. Structural Evaluation
- D. Parking Survey
- E. Traffic Impact Analysis

MILLER SCOTT HOLBROOK & JACKSON
Attorneys and Counselors at Law

122 Touro Street, Newport, RI 02840

J. Russell Jackson, Esq.
jrjackson@millerscott.com

Tel: 401-847-7500
Fax: 401-848-5854

August 13, 2024

Nicholas Armour
Zoning Officer
Newport City Hall
43 Broadway
Newport, RI 02840

RE: Zoning Application of Taj Residences, LLC
7 & 9 Dearborn Street - TAP: 32, Lot: 214
Application Waiver Request

Mr. Armour:

I am writing to request that the Zoning Application requirement for a formal stormwater management plan regarding the above captioned matter be waived.

The enclosed Zoning Application seeks to renovate an existing multi-family development. The project requires a minor dimensional variance regarding side setbacks and a Category 6 Special Use Permit. The proposed modifications will be done essentially within the existing footprint, resulting in an actual net decrease of lot coverage. The project will not result in any increase of impervious surfaces.

For these reasons, requiring the Applicant to incur the expense of a fully engineered storm water management plan as part of their Zoning Application seems burdensome considering the nature of the proposed project, and the relief being requested.

Accordingly, we believe the materials provided with the Zoning Application are sufficient and will provide the necessary information for Zoning Board consideration.

Sincerely,

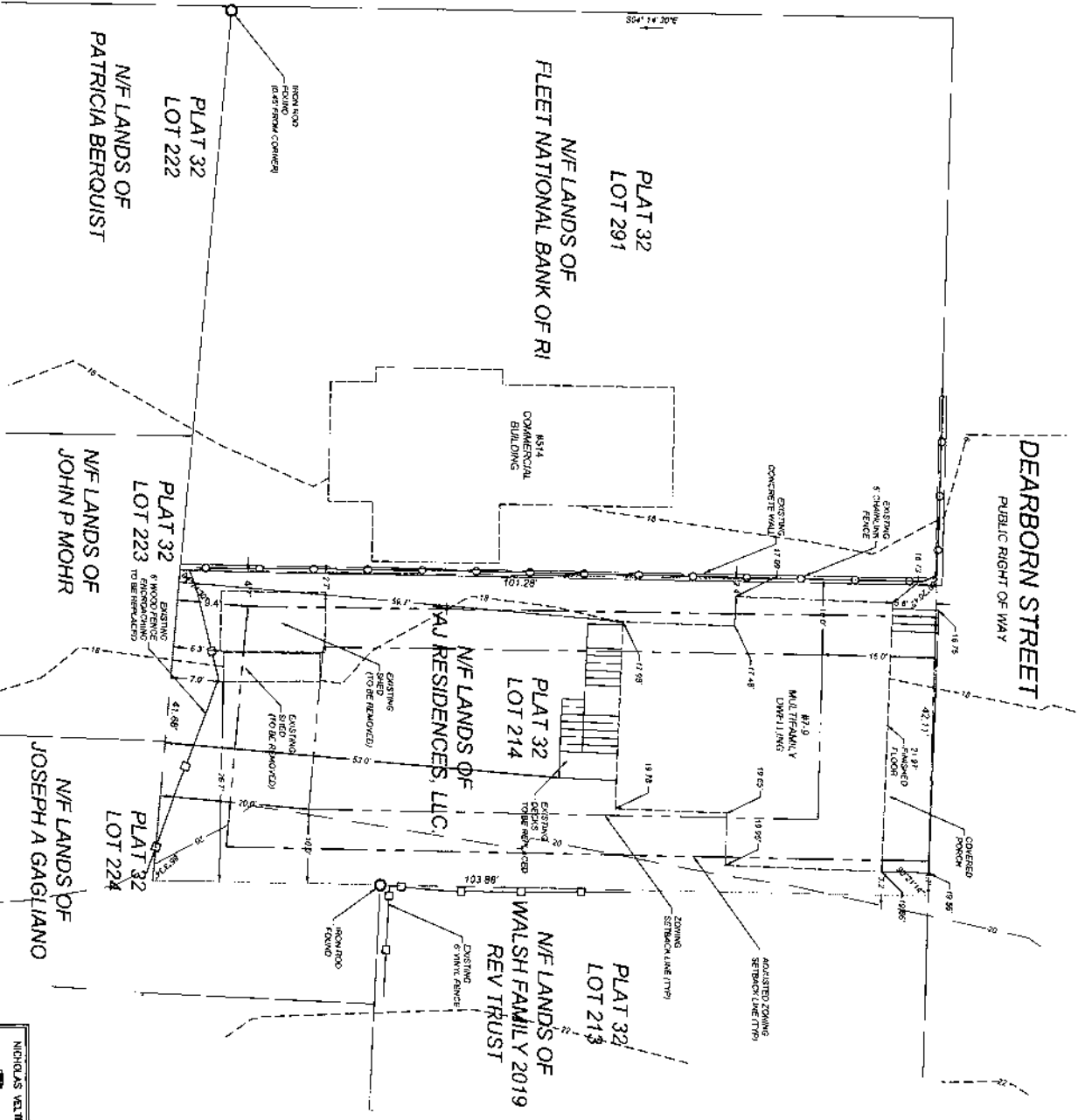
/s/ J. Russell Jackson

J. Russell Jackson, Esq.

Cc: Client



THAMES STREET
PUBLIC RIGHT OF WAY



SCALE: 1" = 10'

CERTIFICATION

THE SURVEY HAS BEEN CONDUCTED AND THE PLAT HAS BEEN PREPARED PURSUANT TO THE PROVISIONS OF THE SURVEYING ACT OF THE STATE OF RHODE ISLAND AS FOLLOWS:

- A. THE TYPE OF SURVEY: LIMITED SURVEY FOR BOUNDARY SURVEY
- B. OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION

C. THE PURPOSE AND THE CONSTRUCTION OF THE SURVEY AND THE PREPARATION OF THIS PLAT IS AS FOLLOWS:
 TO ASSIST IN THE CONSTRUCTION OF THE SURVEY AND THE PREPARATION OF THIS PLAT IS AS FOLLOWS:
 TO ASSIST IN THE CONSTRUCTION OF THE SURVEY AND THE PREPARATION OF THIS PLAT IS AS FOLLOWS:

Nicholas Veltri
 NICHOLAS VELTRI
 PROFESSIONAL LAND SURVEYOR
 No. 1719

VICINITY MAP - NOT TO SCALE

ES WHARF
 DEARBORN ST
 HOLLAND ST
 DEAN AVE

SURVEY NOTES:

1. PROPERTY KNOWN AS LOT 24 AS SHOWN ON THE CITY OF PROVIDENCE PLOW DEVICE COUNTY, STATE OF RHODE ISLAND, PLAT NO. 32
2. AREA = 4,294 SQUARE FEET OR 0.19 ACRES
3. UNDERGROUND UTILITIES HAVE NOT BEEN LOCATED, SETTING AND SITE EVALUATION, PRELIMINARY PLANNING AND DESIGN SHOULD BE COMPLETED PRIOR TO BEGINNING CONSTRUCTION. UNDERGROUND UTILITIES SHOULD BE REVEALED BY THE PROPERTY OWNER.
4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY NICHOLAS VELTRI, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS, CONDITIONS AND EASEMENTS THAT MAY BE CONTAINED THEREIN.
6. BY GRANTING A PLATING ONLY PROPERTY IS LOCATED IN FLOOR 2 AND 3 AS SHOWN BY THIS PLAT. THE OWNER OF THE PROPERTY IS ADVISED THAT THE DEED DOES NOT COVER ANY CHANGE OF FLOOR OR "TWO" LEVELS. THEREFORE, THE DEED DOES NOT COVER ANY CHANGE OF FLOOR OR "TWO" LEVELS. THE DEED DOES NOT COVER ANY CHANGE OF FLOOR OR "TWO" LEVELS. THE DEED DOES NOT COVER ANY CHANGE OF FLOOR OR "TWO" LEVELS.
7. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
8. THIS SURVEY DOES NOT SHOW THE EXISTENCE OF "WETLANDS," IF ANY.

REFERENCES:

1. DEED BOOK 3186 PAGE 50
2. PLAT ENTITLED "LAND SURVEY PREPARED FOR MR. JOSEPH GAGLIANO," PREPARED BY NICHOLAS VELTRI, INC., CONSULTANTS, INC. BOOK 25 VOL. 1 PAGE 9
3. PLAT ENTITLED "PLAN OF LAND IN MEMPHIS, TN. SURVEYED FOR STEWARD THE COMPANY OF NEW YORK," BY WALTER M. SWANBERG, LOCATED IN PLAT BOOK 7, PAGE 52

ZONING NOTES

ZONING DISTRICT: RESIDENTIAL (R1D)

MINIMUM LOT REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA	10,000 SF	4,292 SF
MINIMUM LOT FRONTAGE	40'	42' 11"
MINIMUM BUILDING HEIGHT	30'	28' 10"
MAXIMUM LOT COVERAGE	20%	38.8%

SETBACK REQUIREMENTS:

MINIMUM FRONT SETBACK	REQUIRED	PROVIDED
MINIMUM FRONT SETBACK	15'	0'
MINIMUM REAR SETBACK	10'	2.4'
MINIMUM SIDE SETBACK	5'	0'
MINIMUM REAR SETBACK	20'	8' 7"

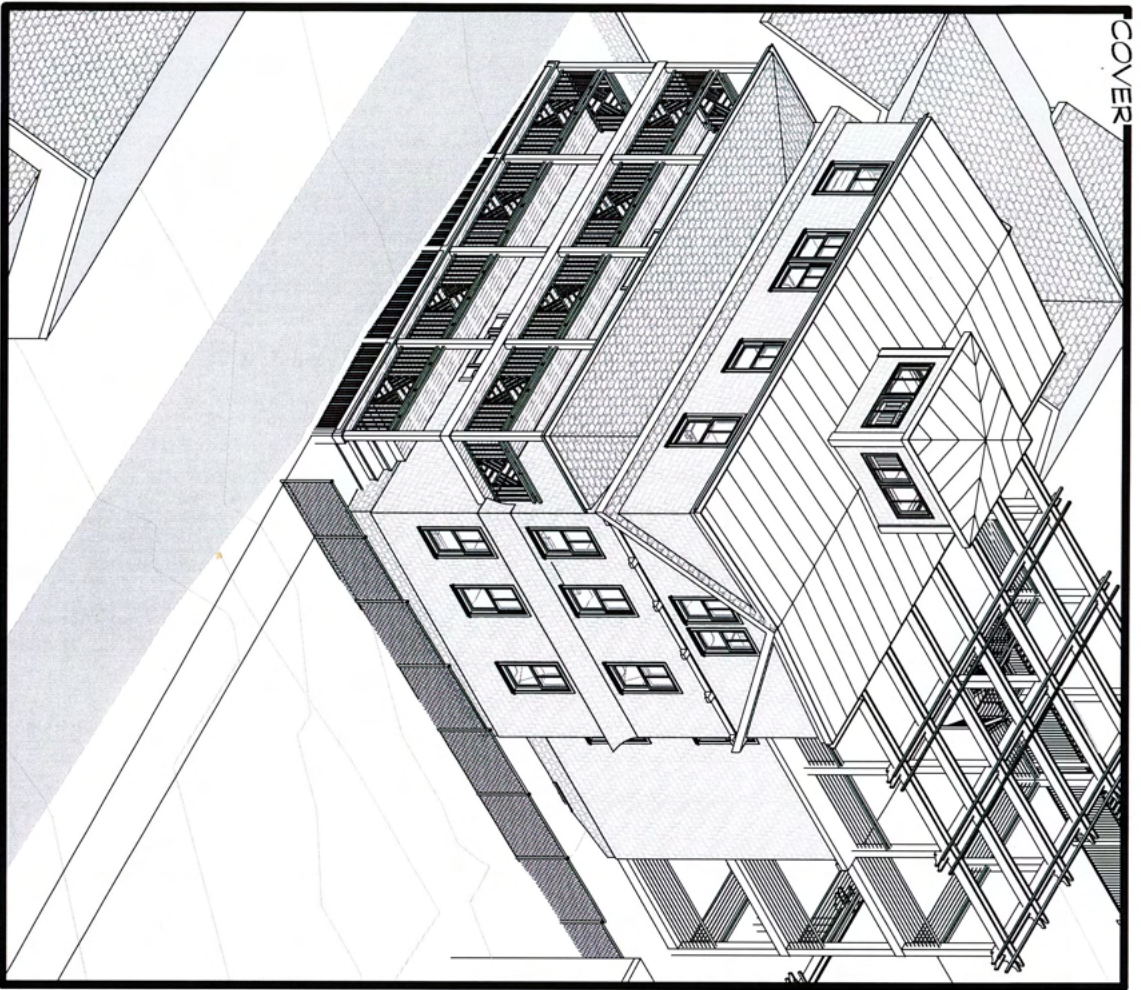
NOTE: ZONING CODES IDENTIFIED HEREON ARE BASED UPON THE LATEST RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CORRECTED TO REFLECT THE LATEST CODES. CONSULT THE ZONING DEPARTMENT FOR THE MOST CURRENT ZONING CODES. THE ZONING DEPARTMENT CAN BE REACHED BY PHONE AT 401-863-3300.

PLAN OF LAND
 PREPARED BY ASSESSOR'S PLAT 32 LOT 214
 THE FAU RESIDENCES, LLC

DATE: 6/29/2014

COMPILED BY	DRAWN BY	APPROVED BY	DATE	DATE	DRAWING NO.
CSL	CSL	NV	6/29/14	6/29/14	1 OF 1

1
 Proposed Exterior - Axonometric
 A0.00



DEARBORN
7-9 DEARBORN ST.
NEWPORT, RI 02840

Sheet Number	Sheet Name	Sheet List
00: GENERAL		
A0.00	COVER	
A0.02	SYMBOLS & ABBREVIATIONS	
A0.04A	EXISTING CONDITIONS - EXTERIOR	
A0.05A	AXONOMETRIC - EXISTING	
A0.05B	AXONOMETRIC - EXISTING	
A0.06A	AXONOMETRIC - PROPOSED	
A0.06B	AXONOMETRIC - PROPOSED	
A0.09	NEIGHBORHOOD ANALYSIS	
A0.10A	NEIGHBORHOOD PLAN - EXISTING	
A0.10B	NEIGHBORHOOD PLAN - PROPOSED	
A0.12	SITE PLAN - EXISTING	
A0.12B	SITE PLAN - PROPOSED	
01: EXISTING FLOOR PLANS		
A1.01	FLOOR PLAN - LEVEL 00 - EXISTING / DEMO	
A1.10	FLOOR PLAN - LEVEL 01 - EXISTING / DEMO	
A1.20	FLOOR PLAN - LEVEL 02 - EXISTING / DEMO	
A1.30	FLOOR PLAN - LEVEL 03 - EXISTING / DEMO	
A1.40	FLOOR PLAN - ROOF - EXISTING / DEMO	
02: PROPOSED FLOOR PLANS		
A2.01	FLOOR PLAN - LEVEL 00 - PROPOSED	
A2.10	FLOOR PLAN - LEVEL 01 - PROPOSED	
A2.20	FLOOR PLAN - LEVEL 02 - PROPOSED	
A2.30	FLOOR PLAN - LEVEL 03 - PROPOSED	
A2.40	FLOOR PLAN - ROOF - PROPOSED	
03: BUILDING ELEVATIONS		
A1.0	ELEVATION - NORTH - EXISTING	
A1.11	ELEVATION - WEST - EXISTING	
A1.12	ELEVATION - SOUTH - EXISTING	
A1.19	ELEVATION - EAST - EXISTING	
A1.20	ELEVATION - NORTH - PROPOSED	
A1.21	ELEVATION - WEST - PROPOSED	
A1.22	ELEVATION - SOUTH - PROPOSED	
A1.23	ELEVATION - EAST - PROPOSED	
04: SECTIONS		
A4.11	LATTITUDINAL SECTION - EXISTING	
A4.21	LATTITUDINAL SECTION - PROPOSED	

NOTE: PRINTED AT HALF SCALE @ 1x17

ARCHITECTURE + PLANNING

The Post Office Building
 320 Thames Street #353
 Newport, RI 02840
 T : 401.849.5100
 W : www.A4-arch.com

Revisions	Drawn	Checked	Date

Project Number: **24007**

TAJ RESIDENCE
7 & 9 DEARBORN ST.
NEWPORT, RI 02840

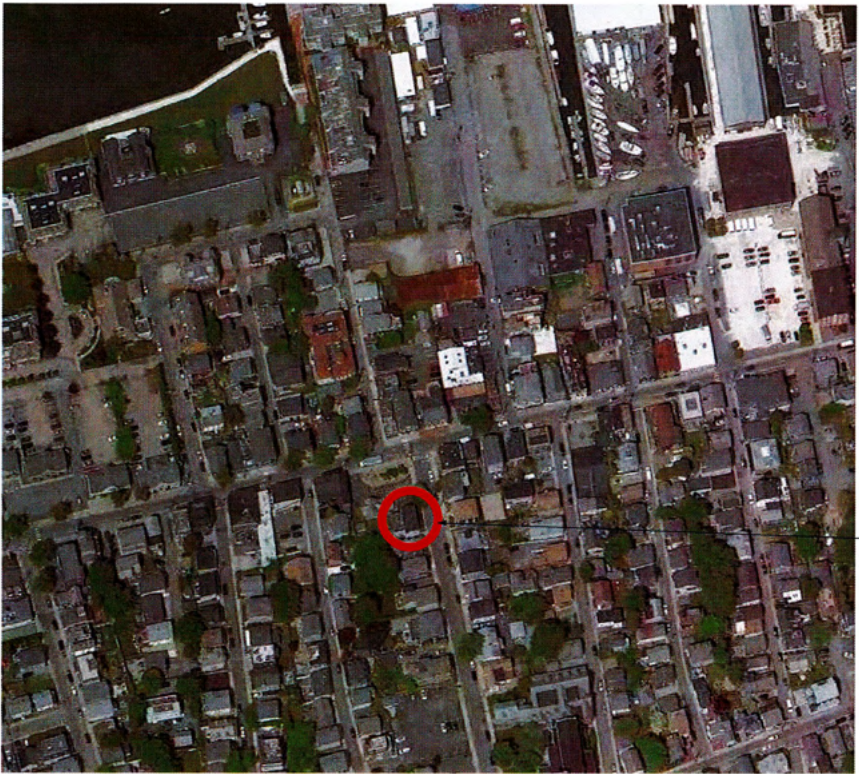
Date Issued: **8/12/2024**
 Scale: **AS NOTED**

A0.00

SYMBOLS & ABBREVIATIONS

LOCATION PLAN

7 & 9 DEARBORN ST.
 NEWPORT, RI 02840



MATERIAL DESIGNATIONS

	EASTRUCORPACT FILL		PLYWOOD		POROUS FLAGSTONE
	COMMON FACE BRICK		BATT INSULATION		CAST IN PLACE/CAST CONCRETE
	METALS		ACUSTICAL TILE		CONCRETE BLOCK
	ROUGH WOOD CONTINUOUS		GYPSUM WALLBOARD		SPRAY FOAM INSULATION
			FINISH WOOD		RIGID INSULATION



ABBREVIATIONS

1	ANC	ANCHOR
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SYMBOL DESIGNATIONS

WALL TYPE	ELEVATION TAG	DRAWING TITLE
DOOR	1	1
WINDOW	2	2
CS/ CONSTRUCTION	3	3
NOTE	4	4
HANDICAP ACCESS	5	5
REVISION TAG	6	6
SECTION TAG	7	7
ENLARGED DETAIL TAG	8	8

NOTE: PRINTED AT HALF SCALE @ 1/16"

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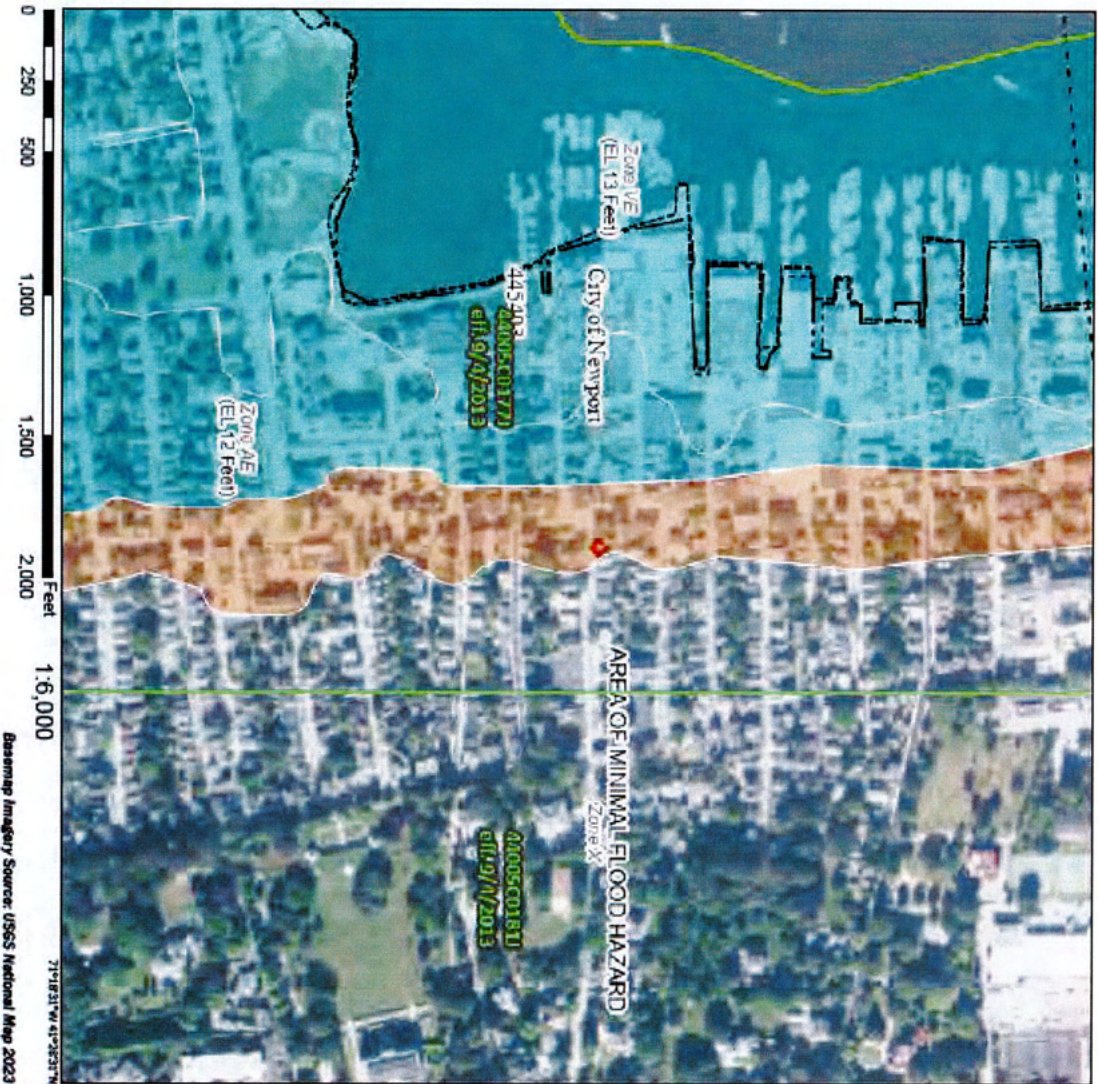
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Description:
 SYMBOLS & ABBREVIATIONS

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FEMA MAP

National Flood Hazard Layer FIRMette



Basemap Imagery Source: USGS National Map 2023

Legend

SEE THIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LOCATION

SPECIAL FLOOD HAZARD AREAS
 Without Base Flood Elevation (BFE)
 With BFE or Depth Zone AE, AO, AH, VE, AP
 Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD
 0.2% Annual Chance Flood Hazard Areas of 1% annual chance flood with average depth less than one foot or with discharge rates of less than one square mile Zone X
 Future Conditions 1% Annual Chance Flood Hazard Zone X
 Areas with Reduced Flood Risk due to Levees, See Notes, Zone X
 Areas with Flood Risk due to Levees Zone X

OTHER AREAS
 No Section Area of Minimal Flood Hazard Zone X
 Ephemeral Lowlands
 Area of Undetermined Flood Hazard Zone X
 Channel, Culvert, or Storm Sewer Lawns, Dike, or Floodwall

OTHER FEATURES
 Cross Sections with 1% Annual Chance Water Surface Elevation
 Coastal Transient
 Base Flood Elevation Line (BFE)
 Limit of Study
 Jurisdiction Boundary
 Coastal Transient Boundary
 Profile Baseline
 Hydrographic Feature

MAP PANELS
 Digital Data Available
 No Digital Data Available
 Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital data. If it is not used as intended, the accuracy is not guaranteed. The basemap data complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was reported on 4/12/2024 at 8:45 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifier, FIRM panel number, and FIRM effective date. Map images for unmapped and undetermined areas cannot be used for regulatory purposes.

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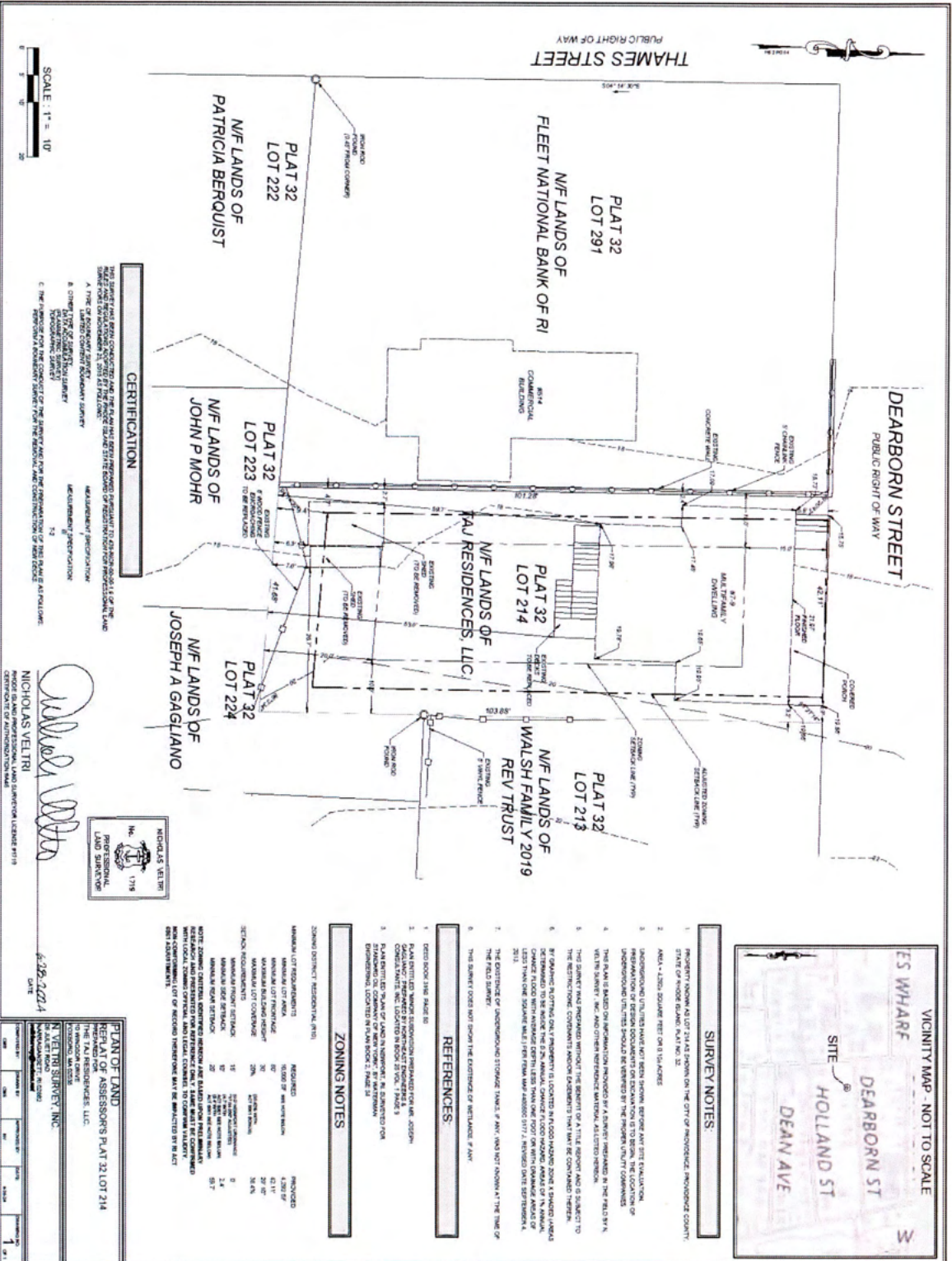
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 NEWPORT, RI 02840

Description:
 FEMA MAP

Date Issued:
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 Scale:
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CERTIFICATION

I, the undersigned, being a duly licensed and sworn Professional Surveyor, certify that I am the author of the foregoing plat, and that the same was prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor in the State of Rhode Island and I am duly qualified to perform the services herein provided for and that the same were prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor in the State of Rhode Island and I am duly qualified to perform the services herein provided for and that the same were prepared by me or under my direct supervision.

A. TYPE OF PROFESSIONAL SERVICE: MEASUREMENT SPECIFICATION
 B. TYPE OF PROFESSIONAL SERVICE: MEASUREMENT SPECIFICATION
 C. NAME OF CLIENT: TAJ RESIDENCES, LLC
 D. PROJECT ADDRESS: 7 & 9 DEARBORN ST. NEWPORT, RI 02840
 E. DATE OF SURVEY: 8/12/2024
 F. DATE OF PLAT: 8/12/2024

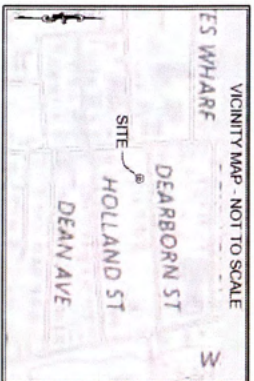
NICHOLAS VETRIL
 PROFESSIONAL SURVEYOR LICENSE #1118
 STATE OF RHODE ISLAND

PLAT OF LAND
 REPEAT OF ASSESSOR'S PLAT 32 LOT 214
 THE TAJ RESIDENCES, LLC

DATE OF SURVEY: 8/12/2024

DATE OF PLAT: 8/12/2024

NOTE: PRINTED AT HALF SCALE @ 1x17



SURVEY NOTES:

- PROFESSIONAL SURVEYING AND MEASUREMENT WAS CONDUCTED ON THE DATE OF PROFESSIONAL SURVEYING, PROVIDING COUNTY, STATE OF RHODE ISLAND, PLAT # 32.
- AREA = 4,829 SQUARE FEET OR 0.106 ACRES
- UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, INVESTIGATION OR DESIGN OCCURS FOR CONSTRUCTION TO BEGIN, THE LOCATION AND DEPTH OF ALL UTILITIES SHOULD BE DETERMINED BY THE PROPERTY OWNER'S CONTRACTORS.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A CLIENT. INADEQUACIES IN THE FIELD BY A SURVEYOR, AND OTHER DEFICIENCIES WHICH AFFECTED THE PLAN.
- THIS SURVEY WAS PROVIDED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY DEFICIENCIES OR OTHER DEFICIENCIES WHICH AFFECTED THE PLAN.
- BY OBTAINING THIS PLAN, THE PROPERTY IS LOCATED IN A HOOD HOUSING ZONE 1, SHOWN LARVA CHANGE RECORD WITH ENHANCED CERTIFICATION THROUGH THE HOOD HOUSING ZONE 1, REVISION DATE SEPTEMBER 12, 2013.
- THE DISTANCE OF UNDERGROUND UTILITY TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THIS SURVEY.
- THIS SURVEY DOES NOT SHOW THE EXISTENCE OF NEIGHBORS IF ANY.

REFERENCES:

- DEED BOOK 1492 PAGE 10
- DEED BOOK 1492 PAGE 10
- DEED BOOK 1492 PAGE 10
- DEED BOOK 1492 PAGE 10
- DEED BOOK 1492 PAGE 10

ZONING NOTES:

ZONING DISTRICT: RESIDENTIAL (RH)

REQUIREMENTS:

MINIMUM LOT AREA	REQUIRED	PROPOSED
MINIMUM LOT AREA	50,000 SQ. FT.	4,829 SQ. FT.
MINIMUM LOT FRONTAGE	100'	42.11'
MINIMUM LOT DEPTH	200'	27.96'
MINIMUM LOT COVERAGE	20%	28.24%
MINIMUM FRONT SETBACK	15'	15.00'
MINIMUM SIDE SETBACK	5'	5.00'
MINIMUM REAR SETBACK	5'	5.00'
MINIMUM HEIGHT	35'	35.00'

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EXISTING CONDITIONS - EXTERIOR



01: EXISTING VIEW - FRONT



02: EXISTING VIEW - REAR



03: EXISTING VIEW - ROOF DECK



04: EXISTING VIEW - SHED

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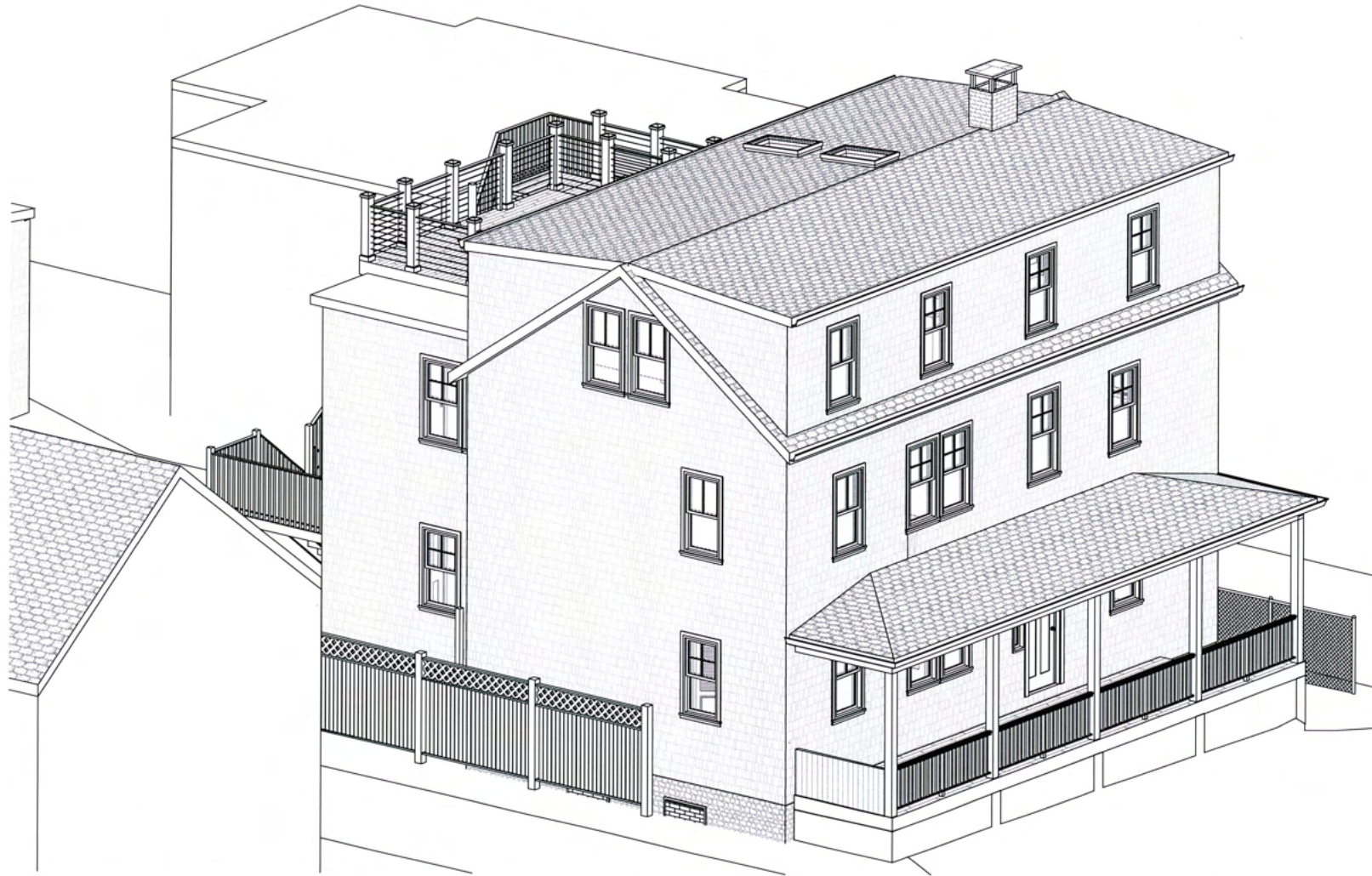
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 EXISTING
 CONDITIONS -
 EXTERIOR

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Scale:
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AXONOMETRIC - EXISTING



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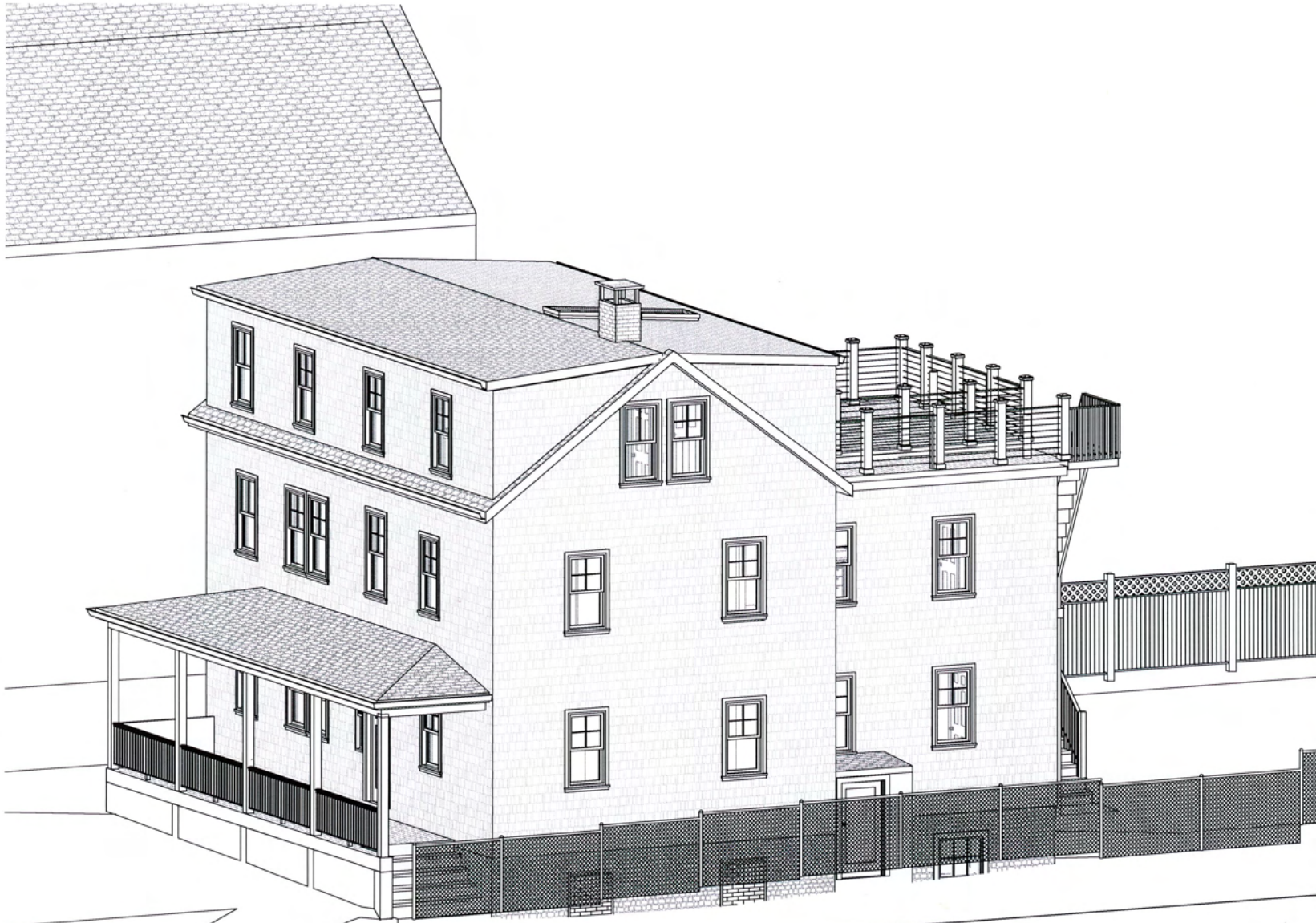
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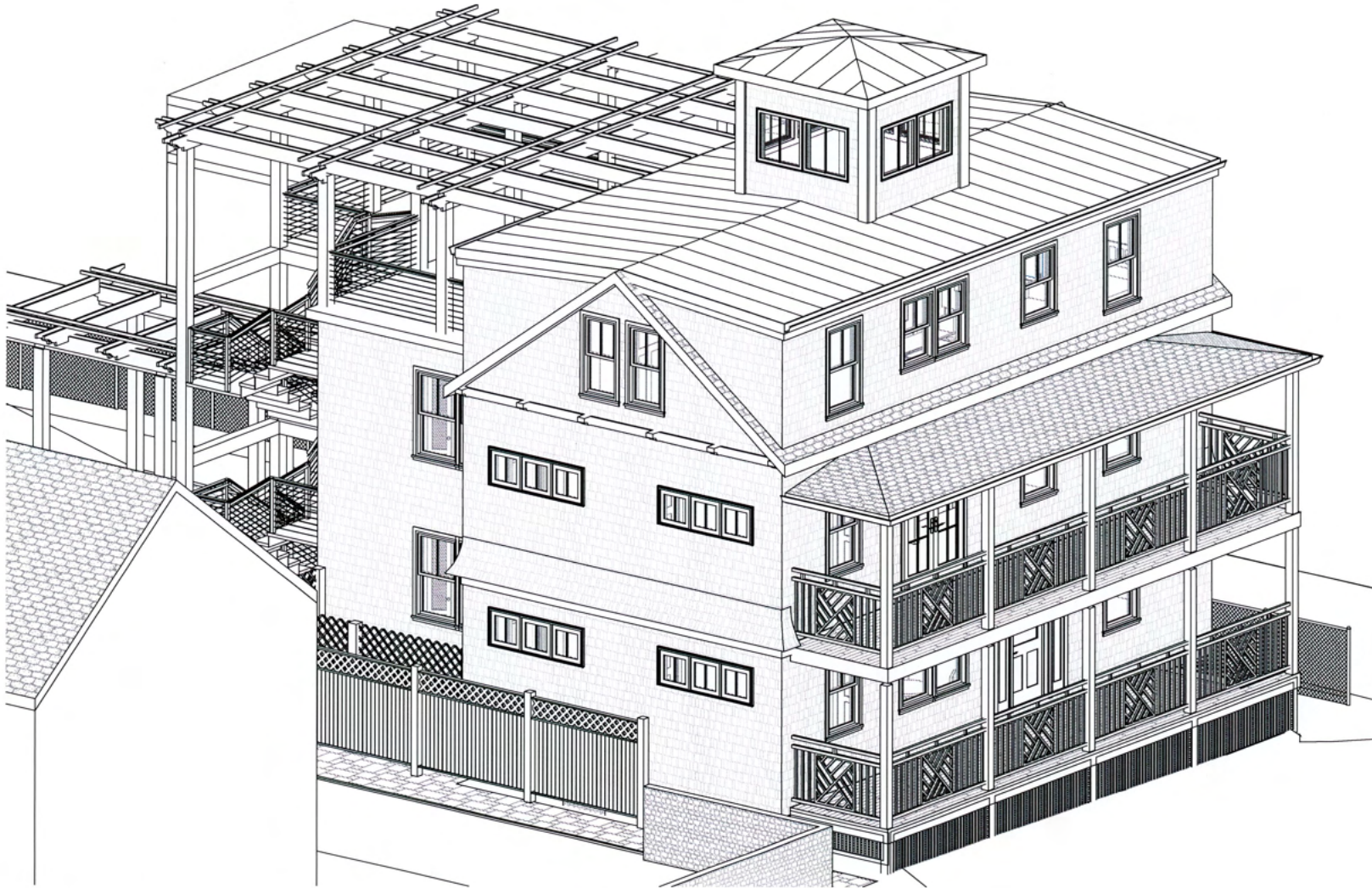
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AXONOMETRIC - PROPOSED



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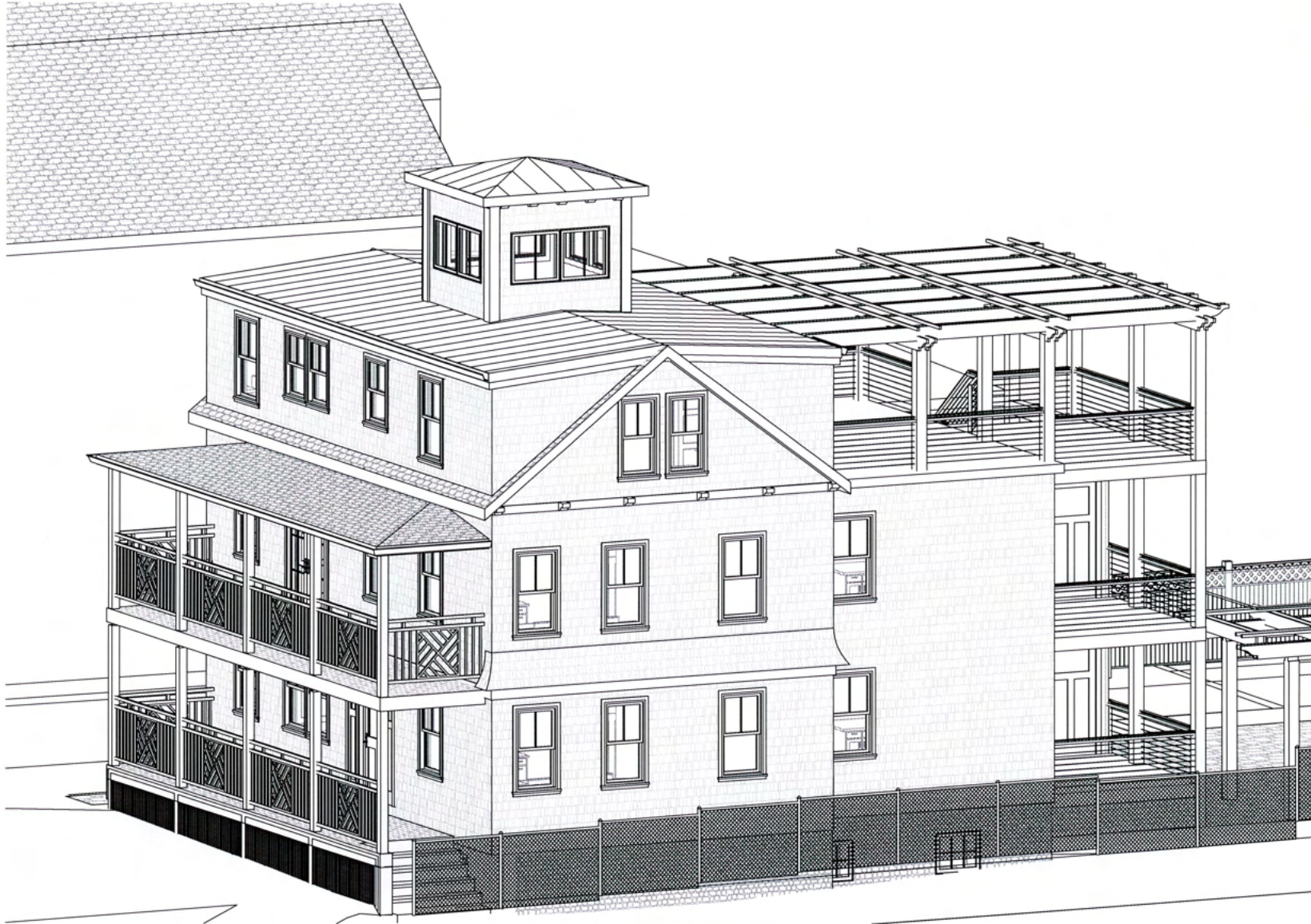
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NEIGHBORHOOD ANALYSIS

ID	ADDRESS	LOT (AC)	LOT (SF)	OUTBUDGS	BUILDING	COVERAGE
32-214	7-9 DEARBORN ST	0.10	4,292	0 SF	1,690 SF	39.36%

PROPOSED

CURRENT EXISTING

Lot ID	Address	Lot Size (ac)	Lot Size (sf)	Outbuildings Footprint (sf)	Building Footprint (sf)	Total Footprint (sf)	Building Coverage
35-196	527 THAMES ST	0.06	2682.00	0.00	2345.00	2345.00	67.43%
32-194	2 DEARBORN ST	0.04	1571.00	0.00	1156.00	1156.00	73.58%
35-228	2 GOODWIN ST	0.03	1372.00	0.00	899.00	899.00	65.52%
32-222	516-518 THAMES ST	0.06	2712.00	0.00	1759.00	1759.00	64.74%
35-107	527 THAMES ST	0.03	1180.00	0.00	744.00	744.00	63.05%
35-149	528 THAMES ST	0.06	3913.00	0.00	2162.00	2162.00	61.54%
35-128	517 THAMES ST	0.06	2400.00	64.00	1356.00	1420.00	59.17%
32-229	30 & 32 HOLLAND ST	0.05	2111.00	0.00	1271.00	1271.00	57.37%
32-198	22 DEARBORN ST	0.06	2720.00	2700.00	1254.00	1524.00	56.03%
35-124	509-513 THAMES ST	0.07	2994.00	0.00	1631.00	1631.00	54.48%
35-020-6	515 THAMES ST	0.04	1855.00	0.00	980.00	980.00	52.83%
32-273	6 DEARBORN ST	0.05	2270.00	0.00	1204.00	1204.00	52.35%
35-014	31 HOLLAND ST	0.04	1892.00	0.00	964.00	964.00	52.01%
32-302	23 S BAPTIST ST	0.03	1486.00	0.00	768.00	768.00	51.34%
35-017	15-17 HOLLAND ST	0.04	1874.00	56.00	898.00	954.00	50.91%
32-215	505-507 THAMES ST	0.11	4690.00	0.00	2296.00	2296.00	48.74%
35-151	12 DEAN AVE	0.06	2396.00	0.00	1160.00	1160.00	48.41%
35-149-4	6 DEAN AVE	0.06	2670.00	0.00	1291.00	1291.00	48.35%
32-186	19 S BAPTIST ST	0.06	3700.00	0.00	1744.00	1744.00	47.14%
32-197	DEARBORN ST	0.06	2762.4	0.00	1283.7	1283.67	46.47%
32-309	11 S BAPTIST ST	0.05	2030.00	0.00	938.00	938.00	46.21%
32-185	23 1/2 S BAPTIST ST	0.04	1804.00	0.00	820.00	820.00	45.45%
35-125-4	3 GOODWIN ST	0.06	2512.00	0.00	1140.00	1140.00	45.38%
35-273	4 GOODINGTON WHARF	0.04	1871.00	28.00	817.00	845.00	45.16%
32-305	494 THAMES ST	0.02	819.00	0.00	368.00	368.00	44.93%
32-213	13 DEARBORN ST	0.05	2231.00	100.00	852.00	952.00	42.67%
32-214	7-9 DEARBORN ST	0.10	4292.00	1732.00	1643.00	1816.00	42.31%
35-016	23 HOLLAND ST	0.04	1920.00	0.00	792.00	792.00	41.25%
35-019	520-524 THAMES ST	0.07	3206.00	0.00	1315.00	1315.00	41.03%
32-192	501 THAMES ST	0.20	8768.00	0.00	3516.00	3516.00	40.12%
32-216	7 GOODINGTON WHARF	0.04	1562.00	0.00	620.00	620.00	39.69%
35-150	10 DEAN AVE	0.07	3029.00	0.00	1199.00	1199.00	39.58%
35-152	14 DEAN AVE	0.06	2445.00	0.00	966.00	966.00	39.51%
35-229	55 HAMMOND ST	0.11	4592.0	400.00	1544.0	1944.00	38.94%
32-188	7 S BAPTIST ST	0.05	2023.00	1.00	765.00	766.00	37.86%
35-125-6	2 GOODINGTON WHARF	0.04	1546.00	0.00	594.00	594.00	37.77%
32-223	10 HOLLAND ST	0.05	1989.00	0.00	725.00	725.00	36.45%
35-015	27 HOLLAND ST	0.05	2292.00	64.00	736.00	800.00	34.99%
32-199	32 DEARBORN ST	0.12	5200.00	400.00	1379.00	1440.00	34.21%
32-223	27 S BAPTIST ST	0.08	3500.00	200.00	974.00	1174.00	33.54%
32-225	18 HOLLAND ST	0.05	2276.0	96.00	666.0	762.00	33.45%
32-187	15 S BAPTIST ST	0.07	3196.00	0.00	1058.00	1058.00	33.10%
32-196	14 DEARBORN ST	0.07	3254.00	0.00	1056.00	1056.00	32.45%
32-193	492 THAMES ST	0.06	2511.40	0.00	812.00	812.00	32.33%
32-224	12 HOLLAND ST	0.05	2046.00	0.00	640.00	640.00	31.28%
32-210	25 DEARBORN ST	0.13	5563.00	0.00	1714.00	1714.00	30.81%
32-195	10 DEARBORN ST	0.08	3572.00	0.00	1092.00	1092.00	30.57%
32-226	22 HOLLAND ST	0.11	4698.0	240.00	1193.0	1433.00	30.50%
32-190	490 THAMES ST	0.05	2369.00	0.00	720.00	720.00	30.39%
32-189	488 THAMES ST	0.08	3498.0	0.00	1056.0	1056.00	30.19%
32-209	31 DEARBORN ST	0.16	7168.0	400.00	1696.0	2006.00	27.99%
32-211	21 DEARBORN ST	0.13	5519.0	0.00	1412.0	1412.00	25.58%
32-198-4	26 DEARBORN ST	0.09	4040.0	80.00	819.0	899.00	22.25%
32-212	17 DEARBORN ST	0.08	3676.00	0.00	800.00	800.00	21.76%
35-018	13 HOLLAND ST	0.05	2764.00	0.00	581.00	581.00	21.02%
32-291	514 THAMES ST COR DEARBORN	0.17	7373.00	1.00	906.00	907.00	12.30%
Average		0.07	3032.47	45.14	1161.61	1206.75	42.94%

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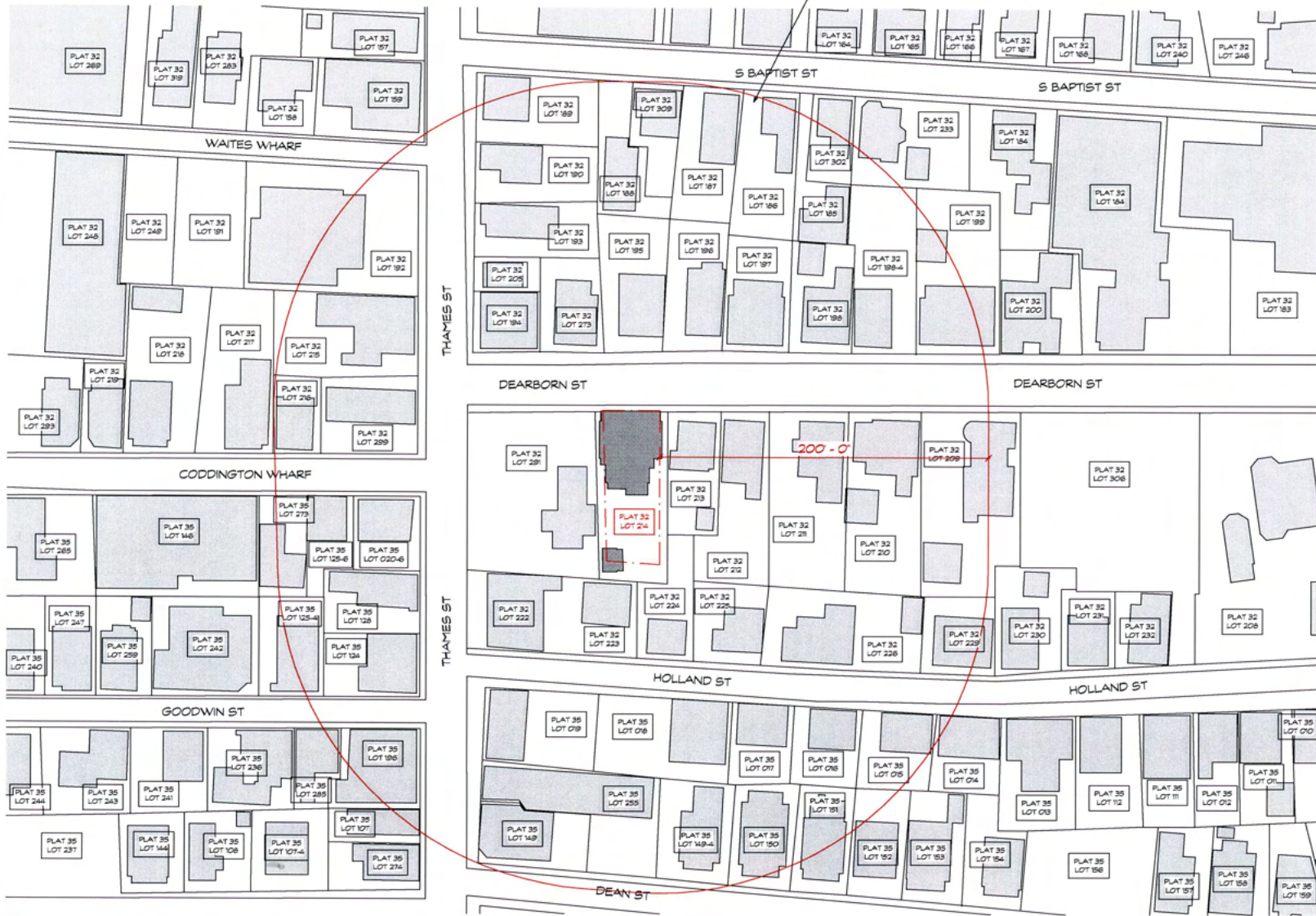
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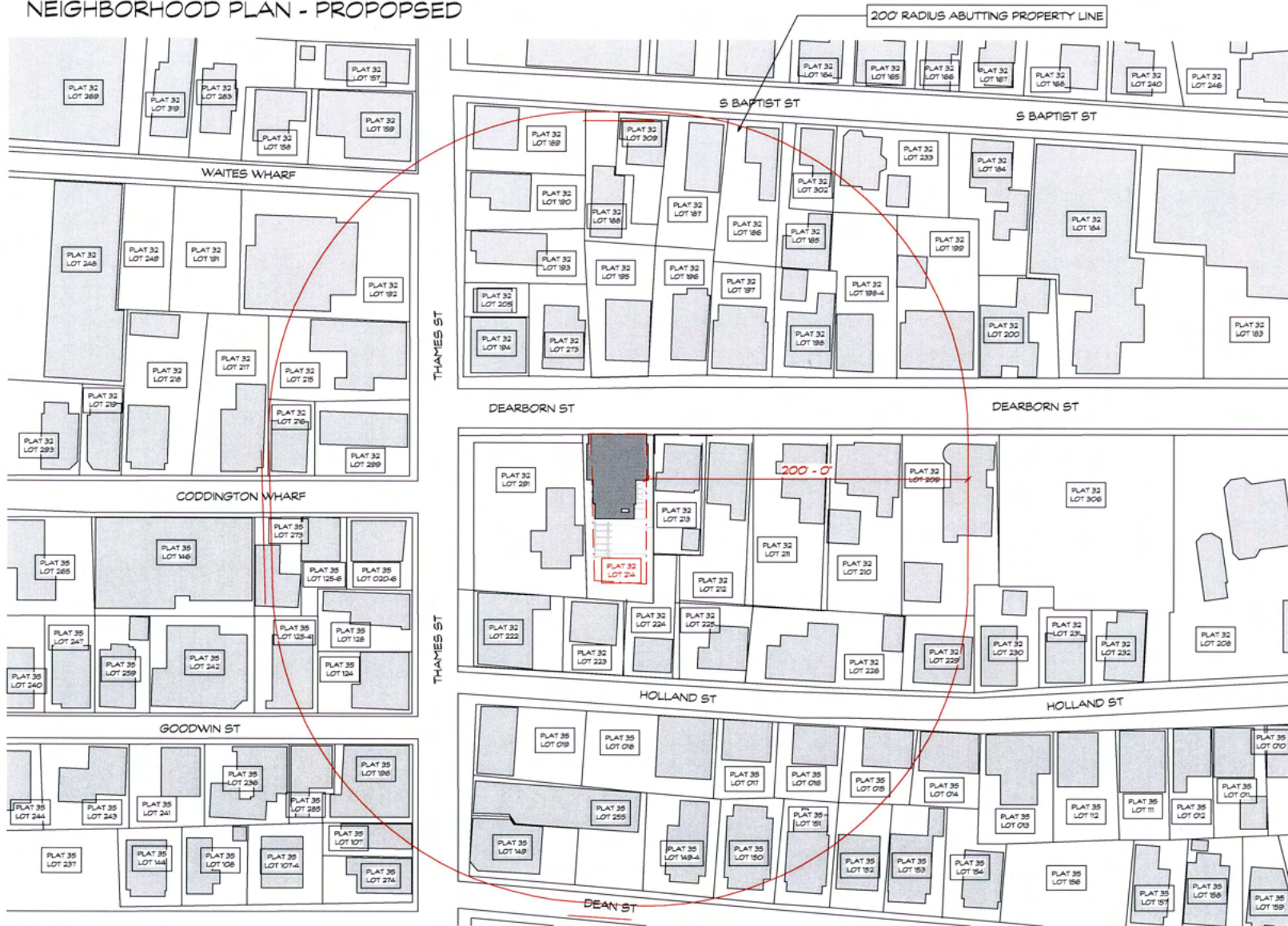
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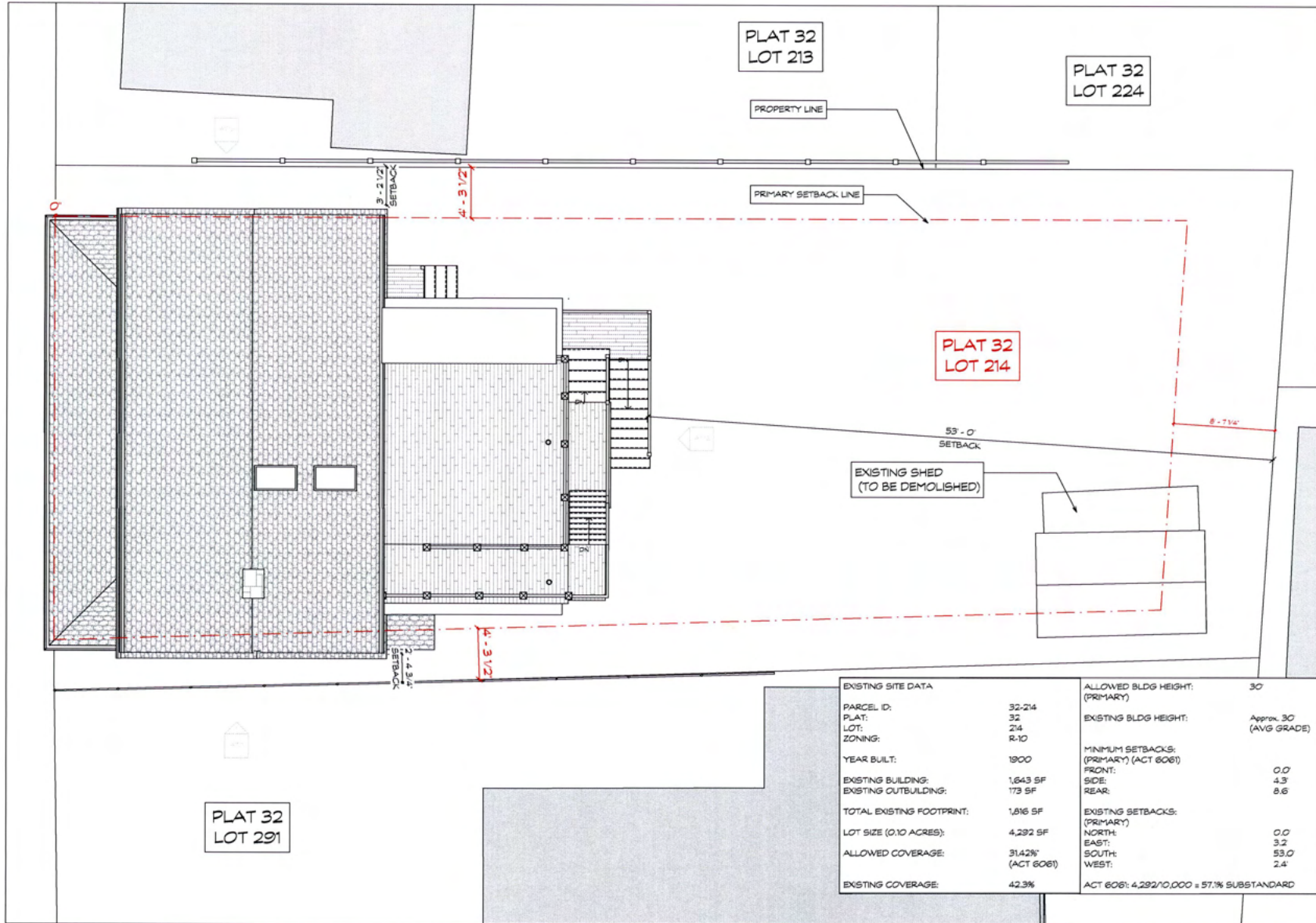
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SITE PLAN - EXISTING



EXISTING SITE DATA		ALLOWED BLDG HEIGHT: 30'	
PARCEL ID:	32-214	(PRIMARY)	
PLAT:	32	EXISTING BLDG HEIGHT:	Approx. 30'
LOT:	214	(AVG GRADE)	
ZONING:	R-10	MINIMUM SETBACKS:	
YEAR BUILT:	1900	(PRIMARY) (ACT 606)	
EXISTING BUILDING:	1,643 SF	FRONT:	0.0'
EXISTING OUTBUILDING:	173 SF	SIDE:	4.3'
TOTAL EXISTING FOOTPRINT:	1,816 SF	REAR:	8.6'
LOT SIZE (0.10 ACRES):	4,292 SF	EXISTING SETBACKS:	
ALLOWED COVERAGE:	31.42%	(PRIMARY)	
EXISTING COVERAGE:	42.3%	NORTH:	0.0'
		EAST:	3.2'
		SOUTH:	53.0'
		WEST:	2.4'
		ACT 606: 4,292/10,000 = 57.1% SUBSTANDARD	



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A0.12

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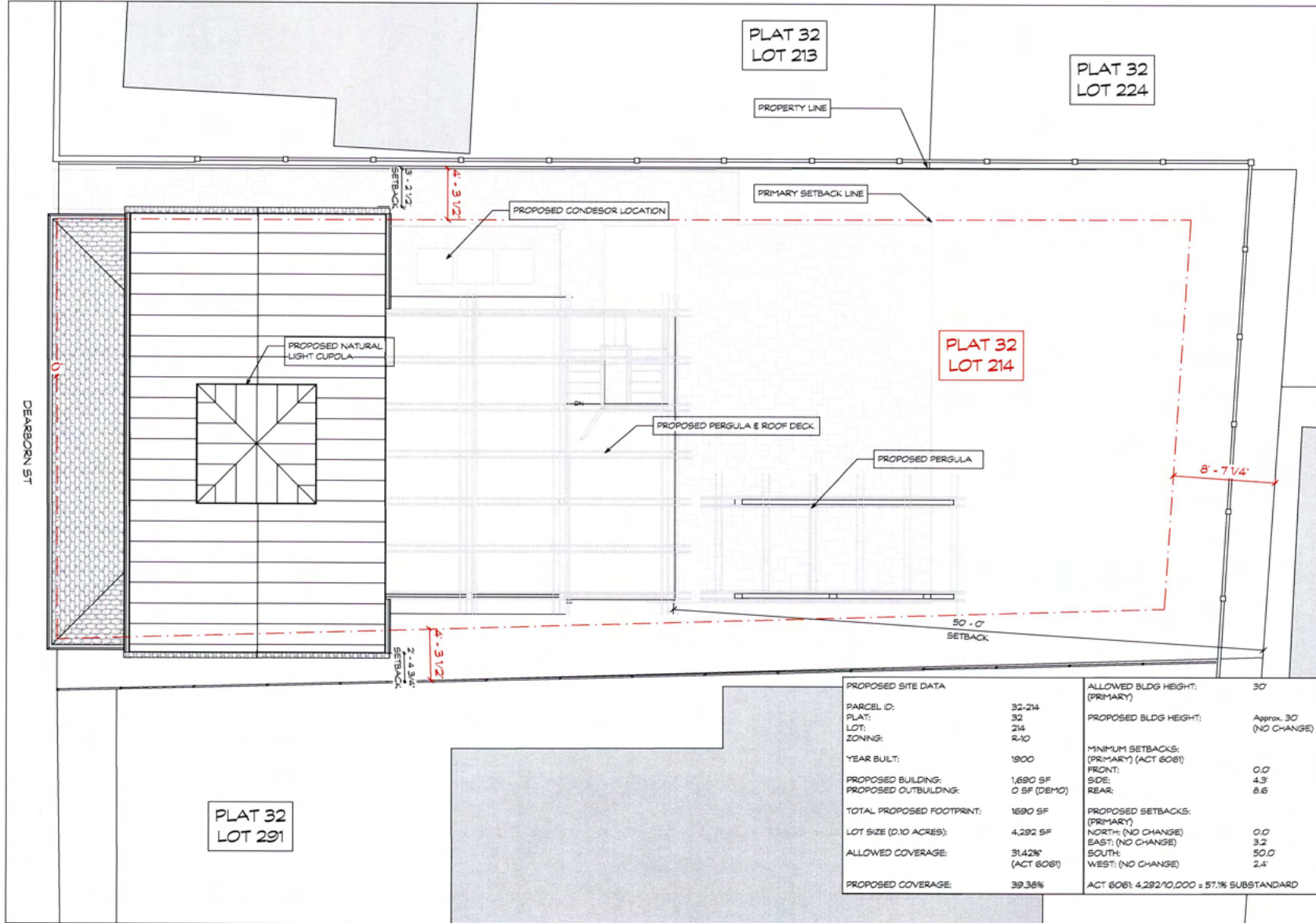
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1 SITE PLAN - EXISTING
A0.12 1/4" = 1'-0"



NOTE: PRINTED AT HALF SCALE @ 11x17

SITE PLAN - PROPOSED



PROPOSED SITE DATA		ALLOWED BLDG HEIGHT: (PRIMARY)	
PARCEL ID:	32-214	PROPOSED BLDG HEIGHT:	30'
PLAT:	32		Approx. 30'
LOT:	214		(NO CHANGE)
ZONING:	R-10	MINIMUM SETBACKS: (PRIMARY) (ACT 6061)	
YEAR BUILT:	1900	FRONT:	0.0'
PROPOSED BUILDING:	1,690 SF	SIDE:	4.3'
PROPOSED OUTBUILDING:	0 SF (DEMO)	REAR:	8.6'
TOTAL PROPOSED FOOTPRINT:	1690 SF	PROPOSED SETBACKS: (PRIMARY) (ACT 6061)	
LOT SIZE (0.10 ACRES):	4,292 SF	NORTH: (NO CHANGE)	0.0'
ALLOWED COVERAGE:	31.42%	EAST: (NO CHANGE)	3.2'
	(ACT 6061)	SOUTH:	50.0'
PROPOSED COVERAGE:	39.38%	WEST: (NO CHANGE)	2.4'
		ACT 6061: 4,292/10,000 = 57.1% SUBSTANDARD	



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Description:
SITE PLAN - PROPOSED

Date Issued:
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Scale:
AS NOTED

A0.12B

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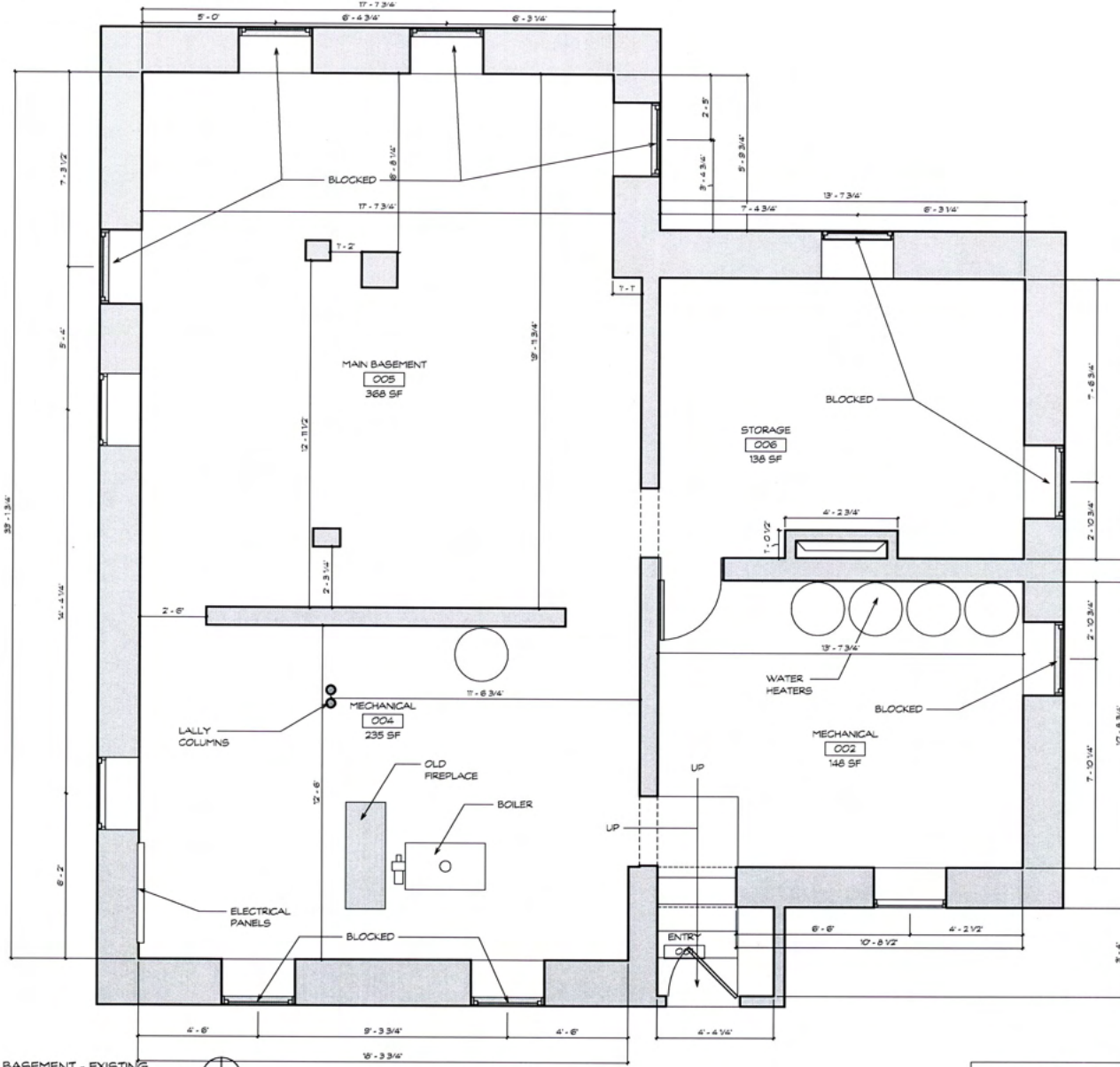
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1 SITE PLAN - PROPOSED
A0.12B 1/4" = 1'-0"



NOTE: PRINTED AT HALF SCALE @ 11x17

FLOOR PLAN - LEVEL 00 - EXISTING / DEMO



1 FLOOR PLAN - BASEMENT - EXISTING
 A1.01 1/2" = 1'-0"

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Description:
 FLOOR PLAN -
 LEVEL 00 -
 EXISTING / DEMO

Date Issued:
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Scale:
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A1.01

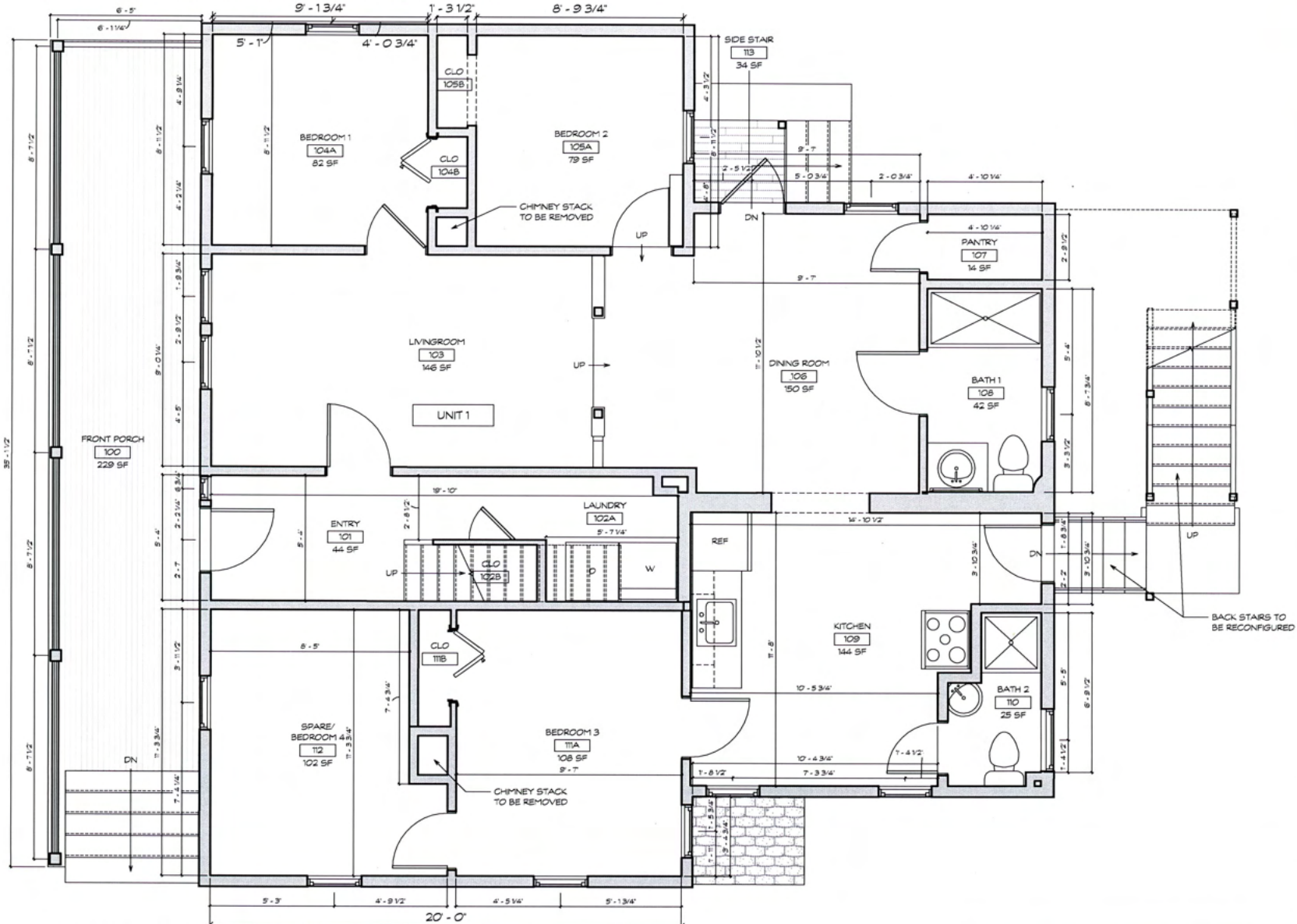
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FLOOR PLAN - LEVEL 01 - EXISTING / DEMO



1 FLOOR PLAN - LEVEL 01 - EXISTING
 A1.10 1/2" = 1'-0"



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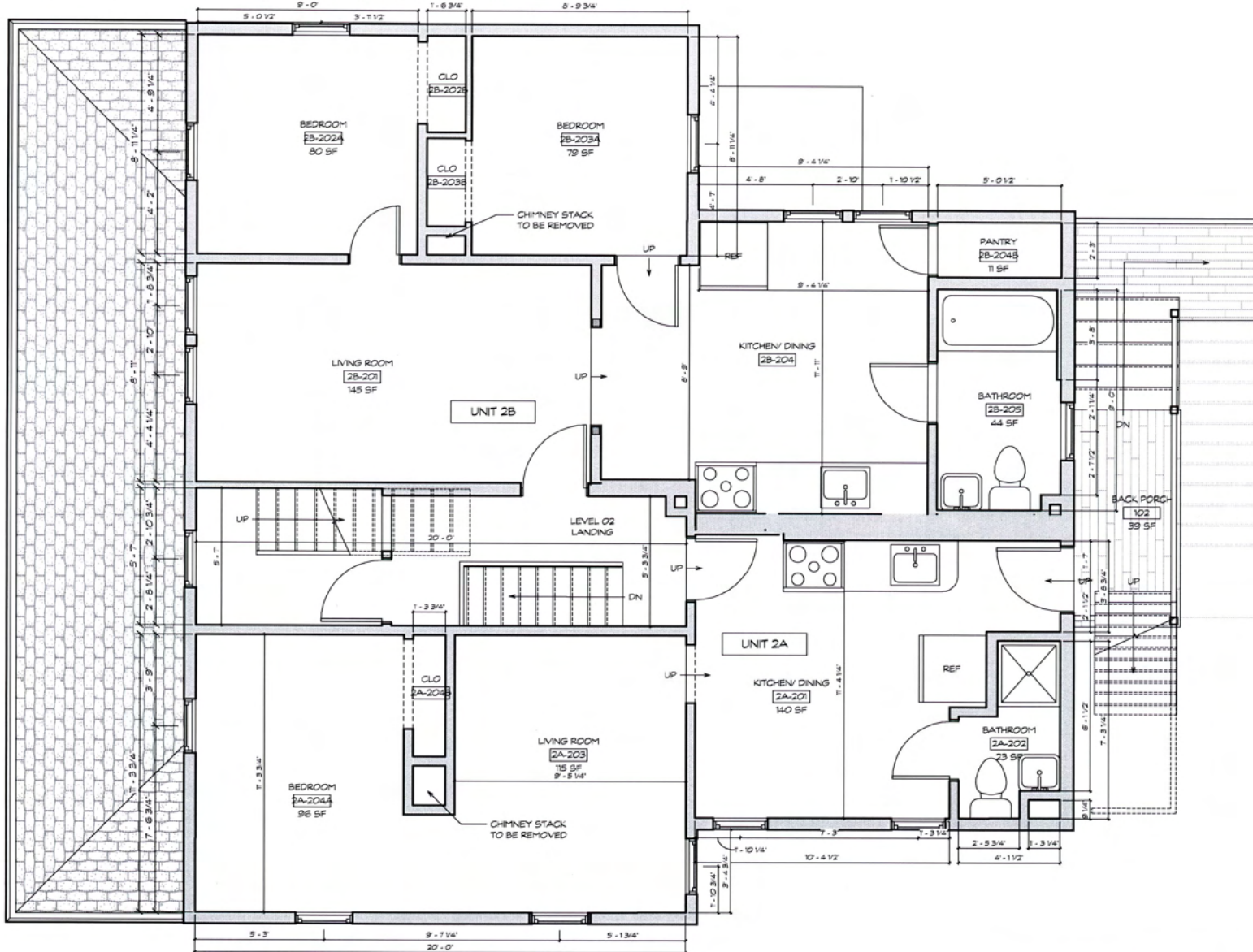
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Description:
 FLOOR PLAN -
 LEVEL 01 -
 EXISTING / DEMO

Date Issued:
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 Scale:
 AS NOTED

A1.10

FLOOR PLAN - LEVEL 02 - EXISTING / DEMO



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1 FLOOR PLAN - LEVEL 02 - EXISTING
 A1.20 1/2" = 1'-0"



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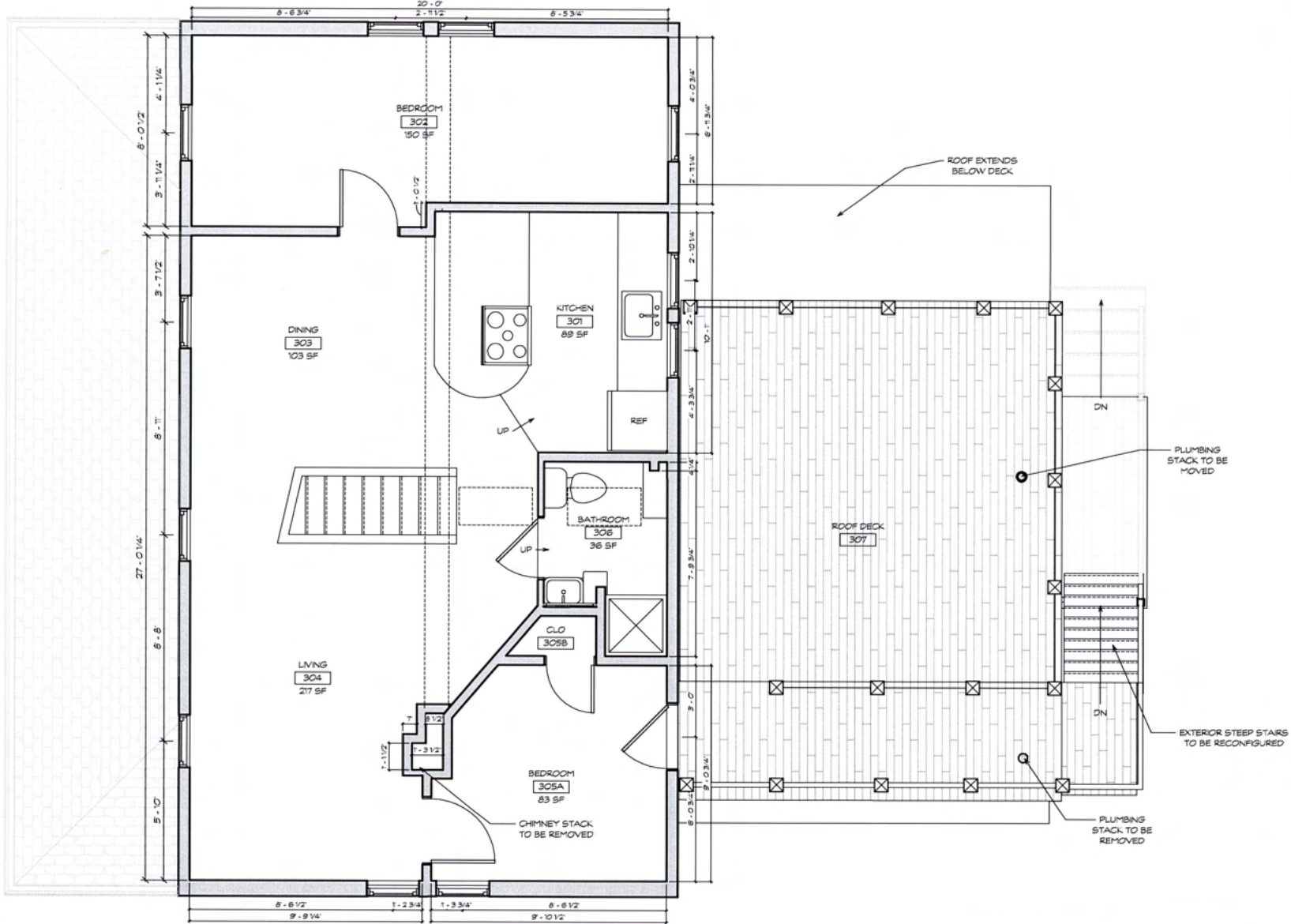
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Description:
 FLOOR PLAN -
 LEVEL 02 -
 EXISTING / DEMO

Date Issued:
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 Scale:
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A1.20

FLOOR PLAN - LEVEL 03 - EXISTING / DEMO



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Description:
**FLOOR PLAN -
LEVEL 03 -
EXISTING / DEMO**

Date Issued:
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Scale:
AS NOTED

A1.30

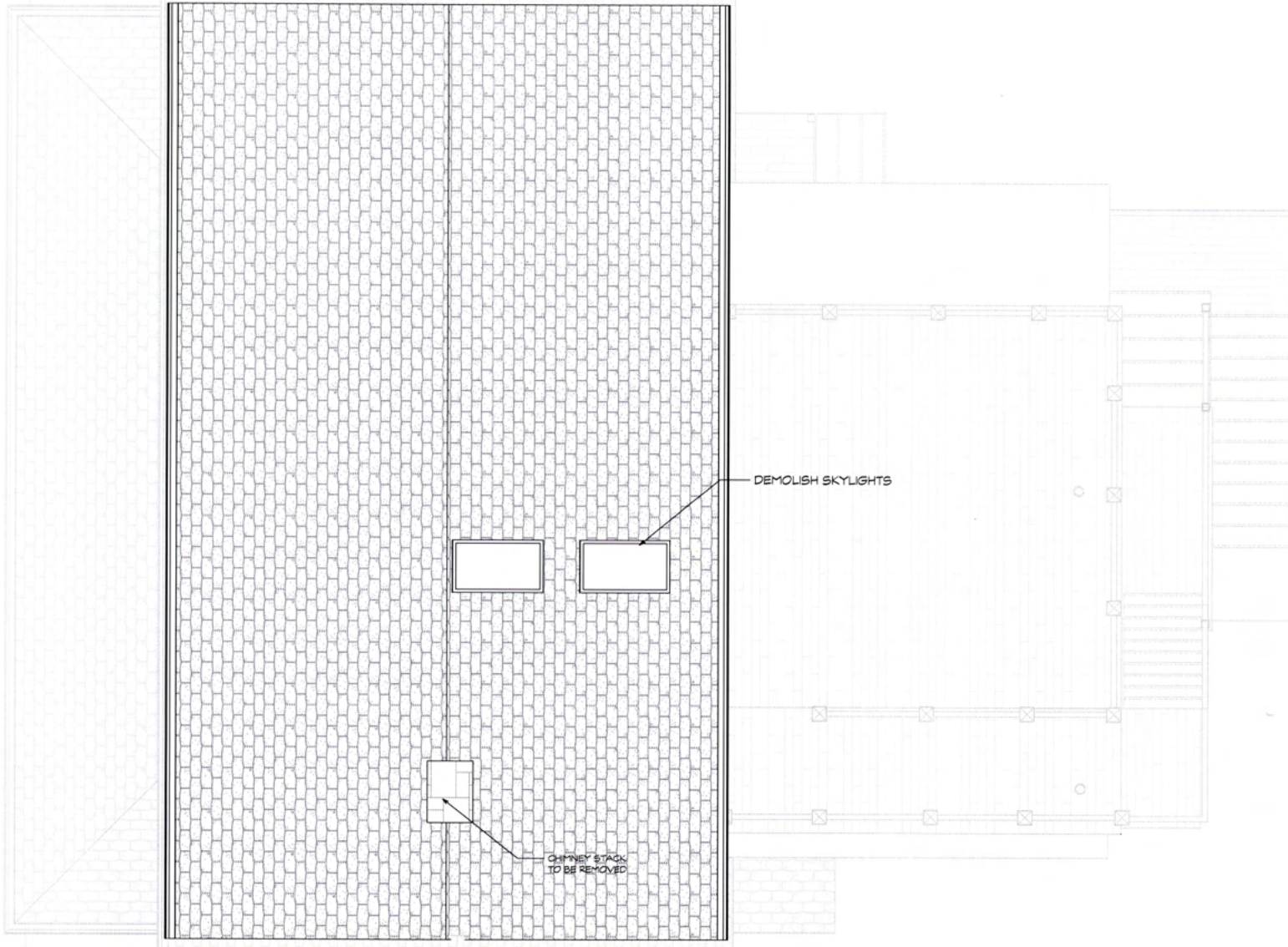
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1 FLOOR PLAN - LEVEL 03 - EXISTING
A1.30 1/2" = 1'-0"



FLOOR PLAN - ROOF - EXISTING / DEMO



1 ROOF PLAN - EXISTING
A1.40 1/2" = 1'-0"

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Project Number: 24007

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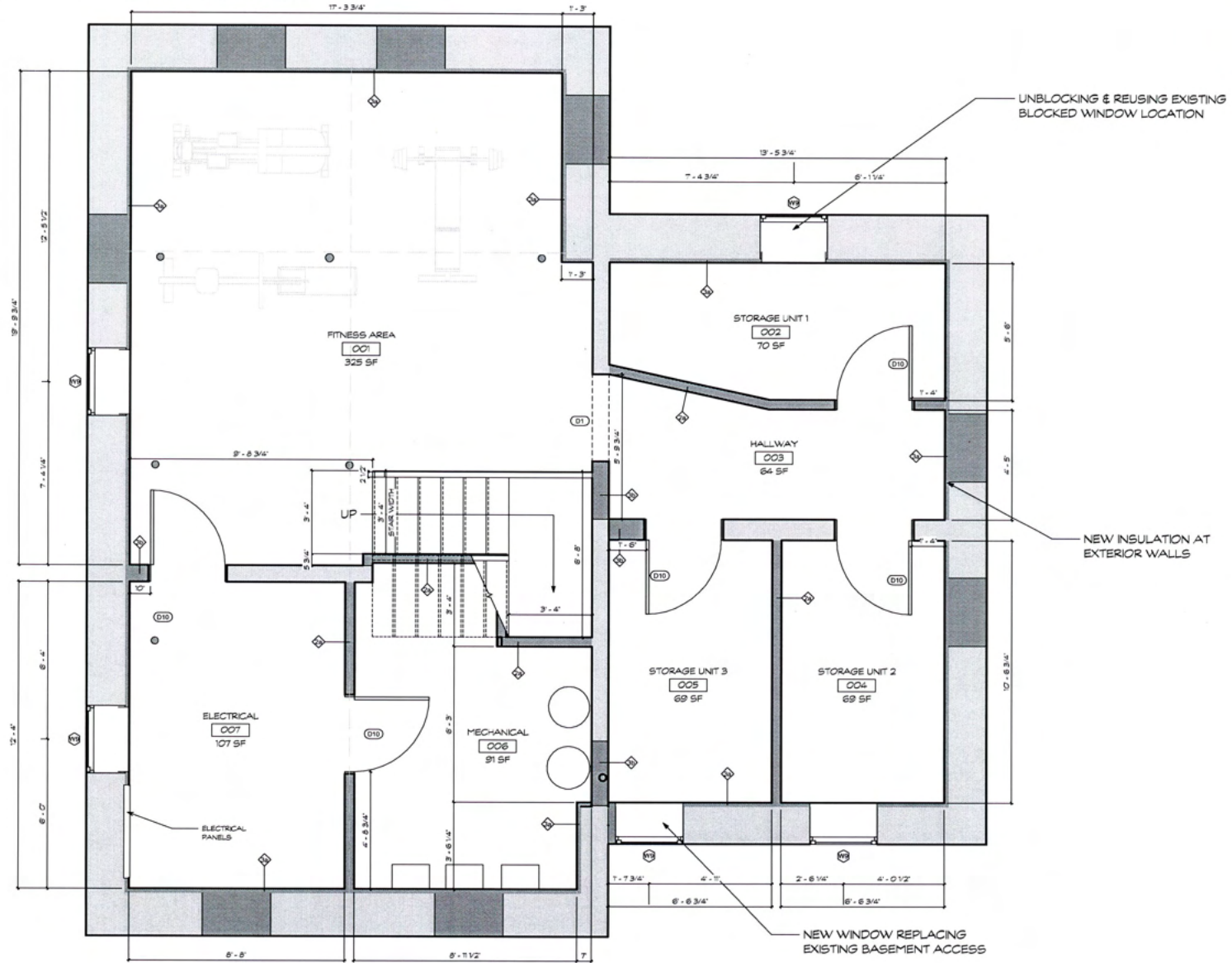
Description:
FLOOR PLAN -
ROOF - EXISTING
/ DEMO

Date Issued:
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Scale:
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A1.40

FLOOR PLAN - LEVEL 00 - PROPOSED



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Description:
FLOOR PLAN - LEVEL 00 - PROPOSED

Date Issued:
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 Scale:
 AS NOTED

A2.01

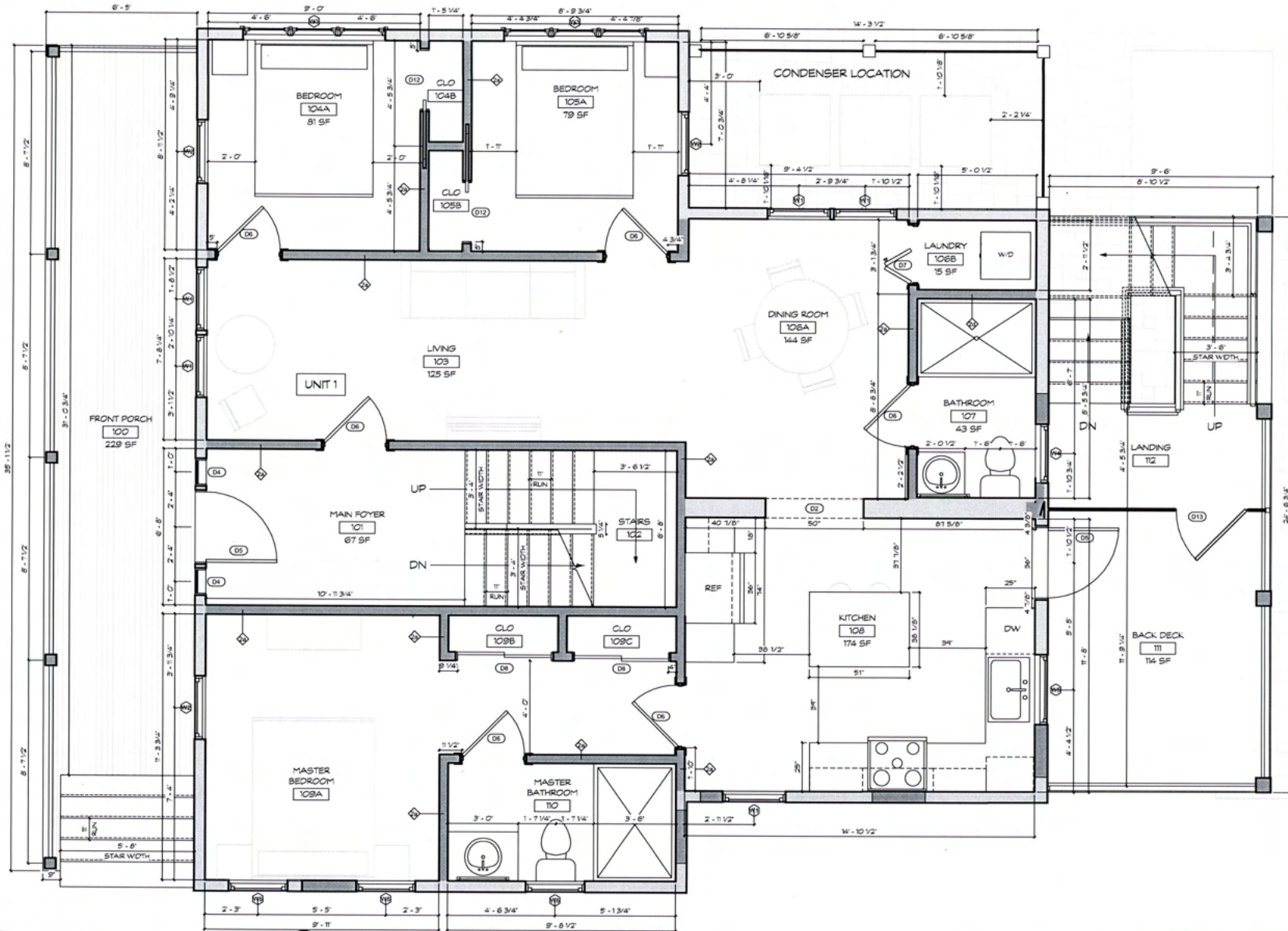
NOTE: PRINTED AT HALF SCALE @ 11x17

1 FLOOR PLAN - LEVEL 00 - PROPOSED
 A2.01 1/2" = 1'-0" Z

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FLOOR PLAN - LEVEL 01 - PROPOSED



1 FLOOR PLAN - LEVEL 01 - PROPOSED
A2.10 1/2" = 1'-0"

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Description:
FLOOR PLAN -
LEVEL 01 -
PROPOSED

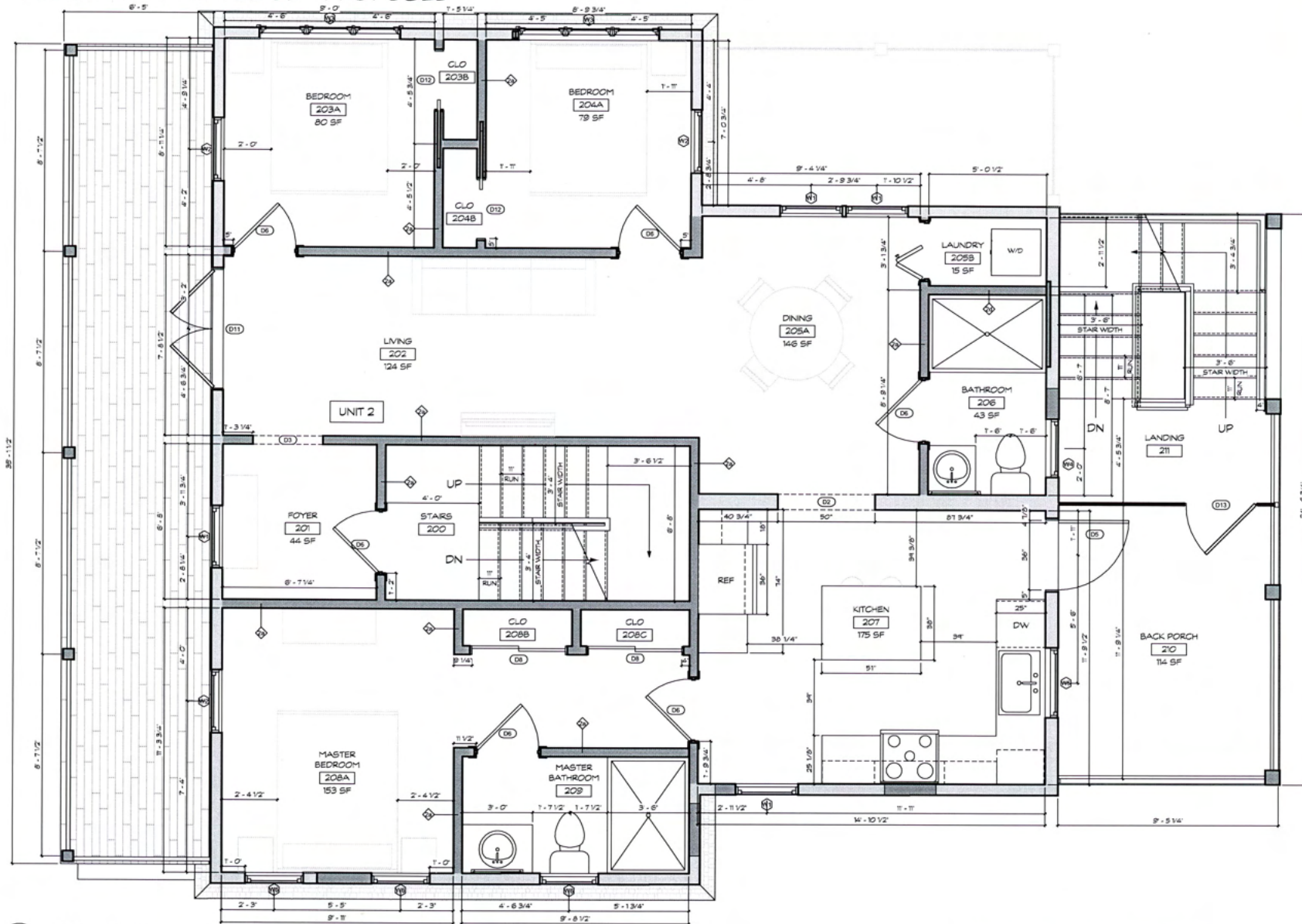
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Scale:
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A2.10

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FLOOR PLAN - LEVEL O2 - PROPOSED



1 FLOOR PLAN - LEVEL O2 - PROPOSED
 A2.20 1/2" = 1'-0" Z

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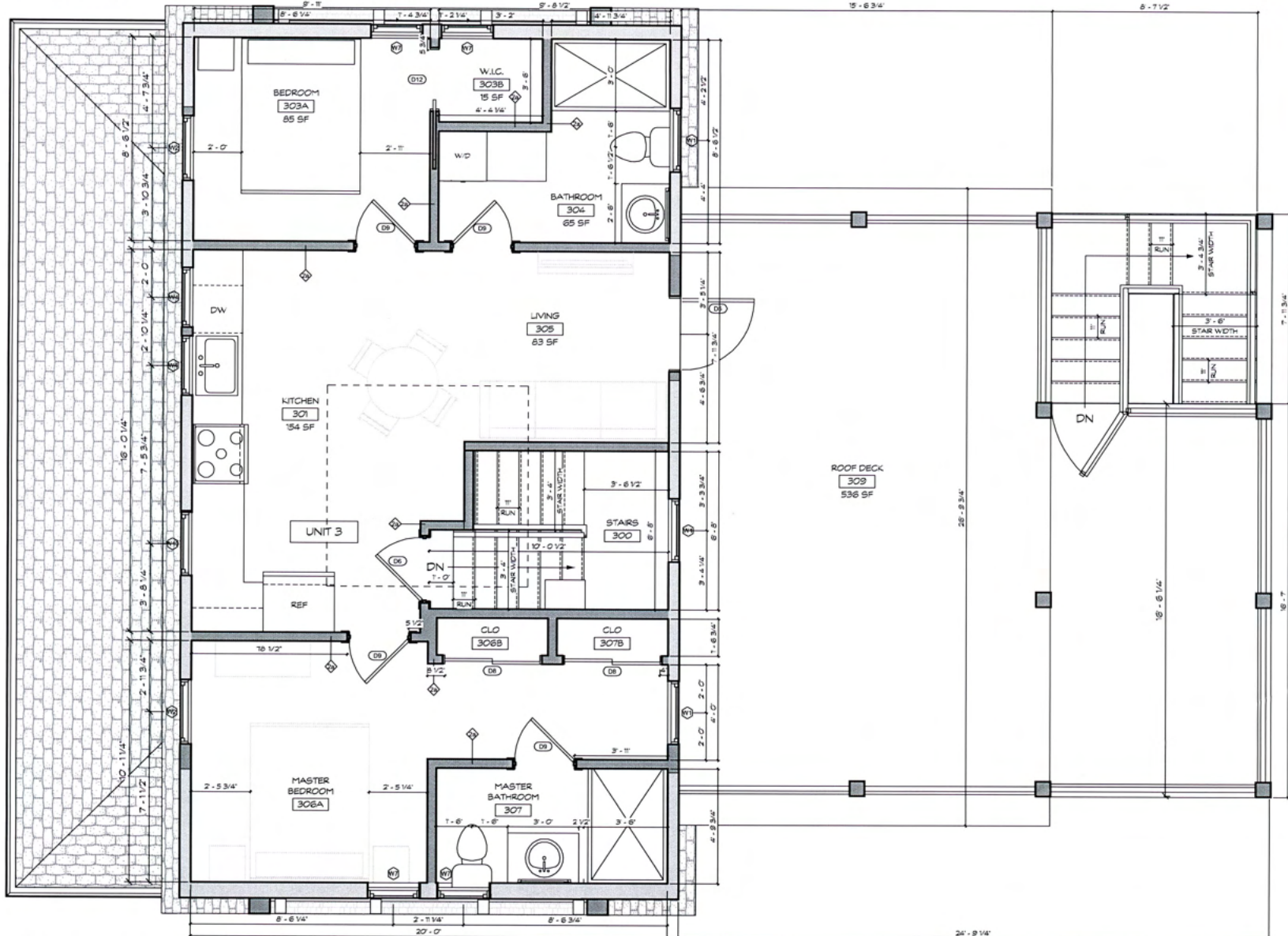
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Description:
FLOOR PLAN - LEVEL O2 - PROPOSED

Date Issued:
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 Scale:
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A2.20

FLOOR PLAN - LEVEL 03 - PROPOSED



1 FLOOR PLAN - LEVEL 03 - PROPOSED
 A2.30 1/2" = 1'-0" Z

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Description:
FLOOR PLAN - LEVEL 03 - PROPOSED

Date Issued:
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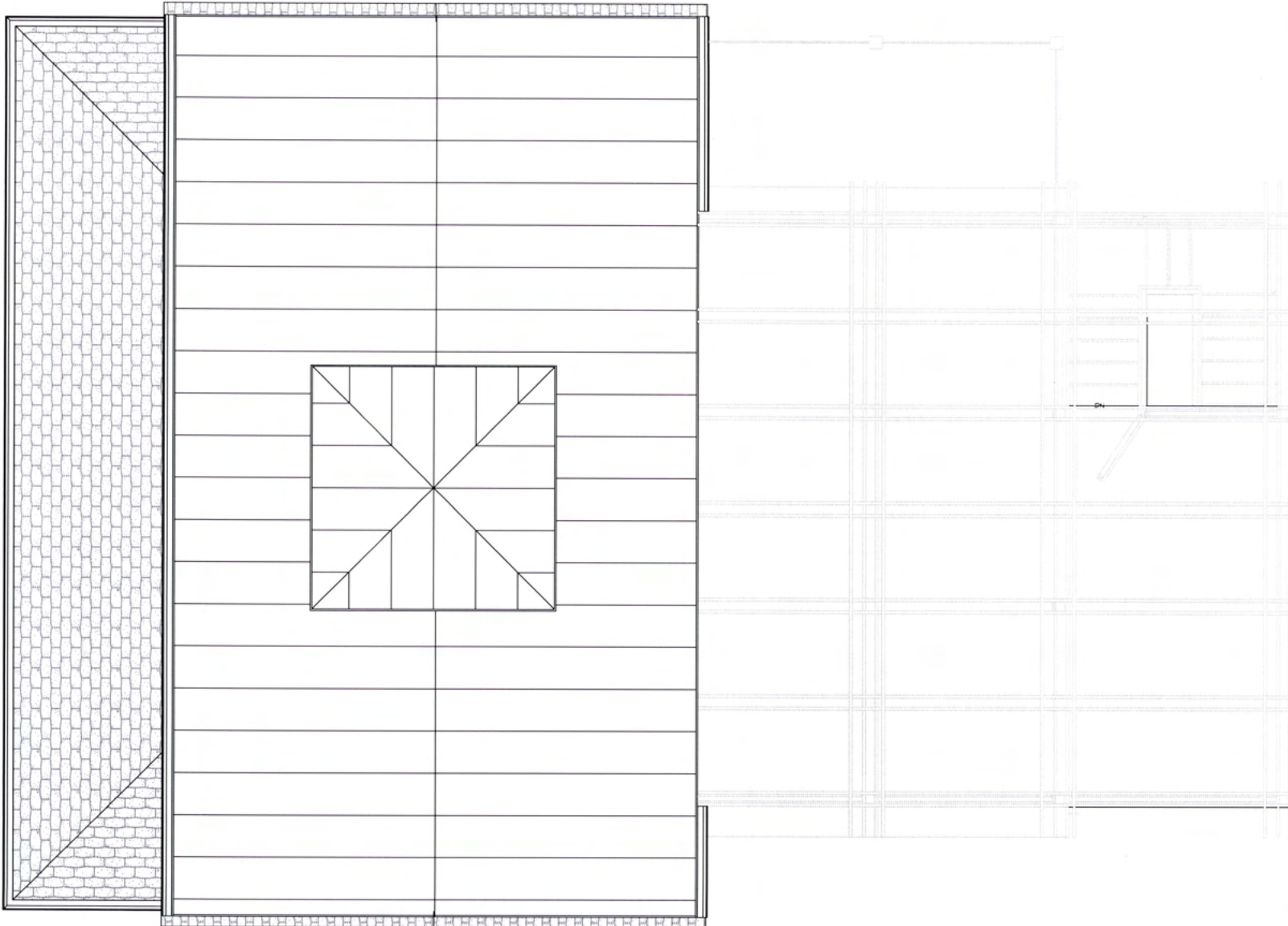
Scale:
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A2.30

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FLOOR PLAN - ROOF - PROPOSED



1 ROOF PLAN - PROPOSED
A2.40 1/2" = 1'-0"



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Description:
FLOOR PLAN -
ROOF -
PROPOSED

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Scale:
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A2.40

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ELEVATION - NORTH - EXISTING



1 ELEVATION - NORTH - EXISTING
A7.10 1/2" = 1'-0"

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ELEVATION - WEST - EXISTING



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Description:
**ELEVATION -
WEST - EXISTING**

Date Issued:
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Scale:
AS NOTED

A7.11

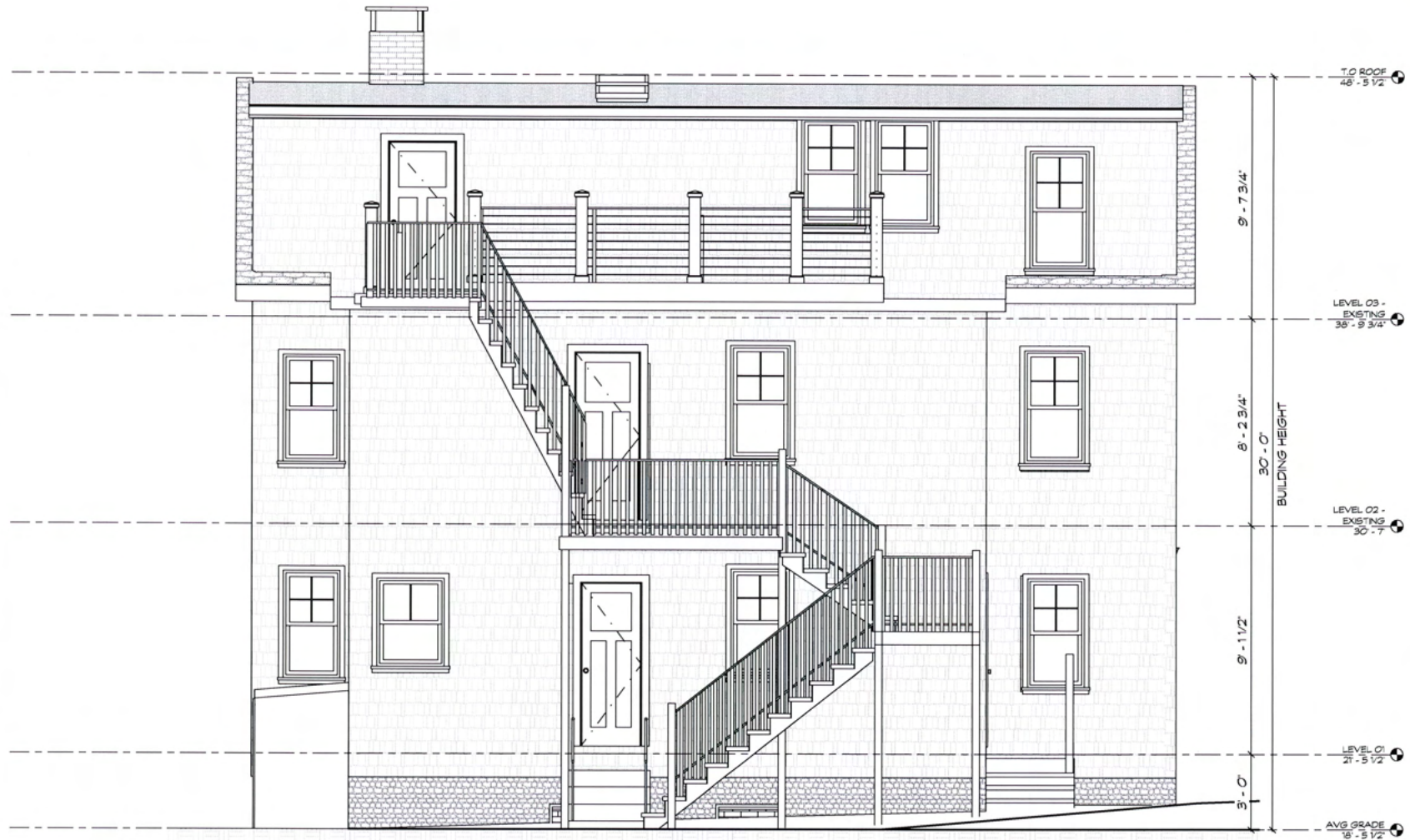
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1 ELEVATION - WEST - EXISTING
A7.11 1/2" = 1'-0"

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ELEVATION - SOUTH - EXISTING



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1 ELEVATION - SOUTH - EXISTING
 A7.12 1/2" = 1'-0"

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Description:
 ELEVATION -
 SOUTH -
 EXISTING

Date Issued:
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Scale:
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A7.12

ELEVATION - EAST - EXISTING



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 ELEVATION - EAST - EXISTING

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A7.13

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1 ELEVATION - EAST - EXISTING
 A7.13 1/2" = 1'-0"

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ELEVATION - NORTH - PROPOSED



1 ELEVATION - NORTH - PROPOSED
 A7.20 1/2" = 1'-0"

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 ELEVATION - NORTH - PROPOSED

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A7.20

ELEVATION - WEST - PROPOSED



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1 ELEVATION - WEST - PROPOSED
 A7.21 1/2" = 1'-0"

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Description:
 ELEVATION - WEST - PROPOSED

Date Issued:
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Scale:
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A7.21

ELEVATION - SOUTH - PROPOSED



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1 ELEVATION - SOUTH - PROPOSED
 A7.22 1/2" = 1'-0"

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ELEVATION - EAST - PROPOSED



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1 ELEVATION - EAST - PROPOSED
A7.23 1/2" = 1'-0"

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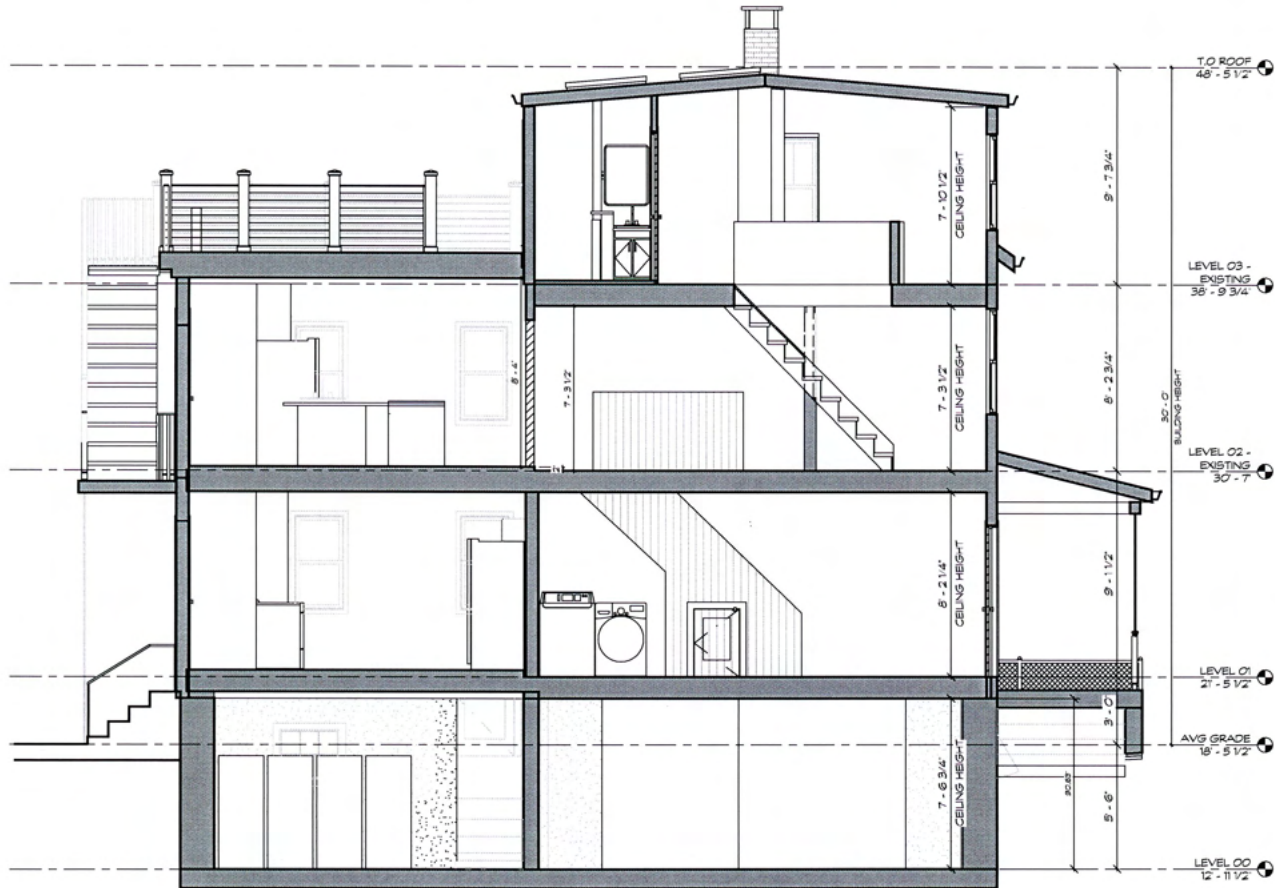
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Description:
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Date Issued:
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Scale:
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A7.23

LATITUDINAL SECTION - EXISTING



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Description:
 LATITUDINAL SECTION - EXISTING

Date Issued:
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Scale:
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A9.11

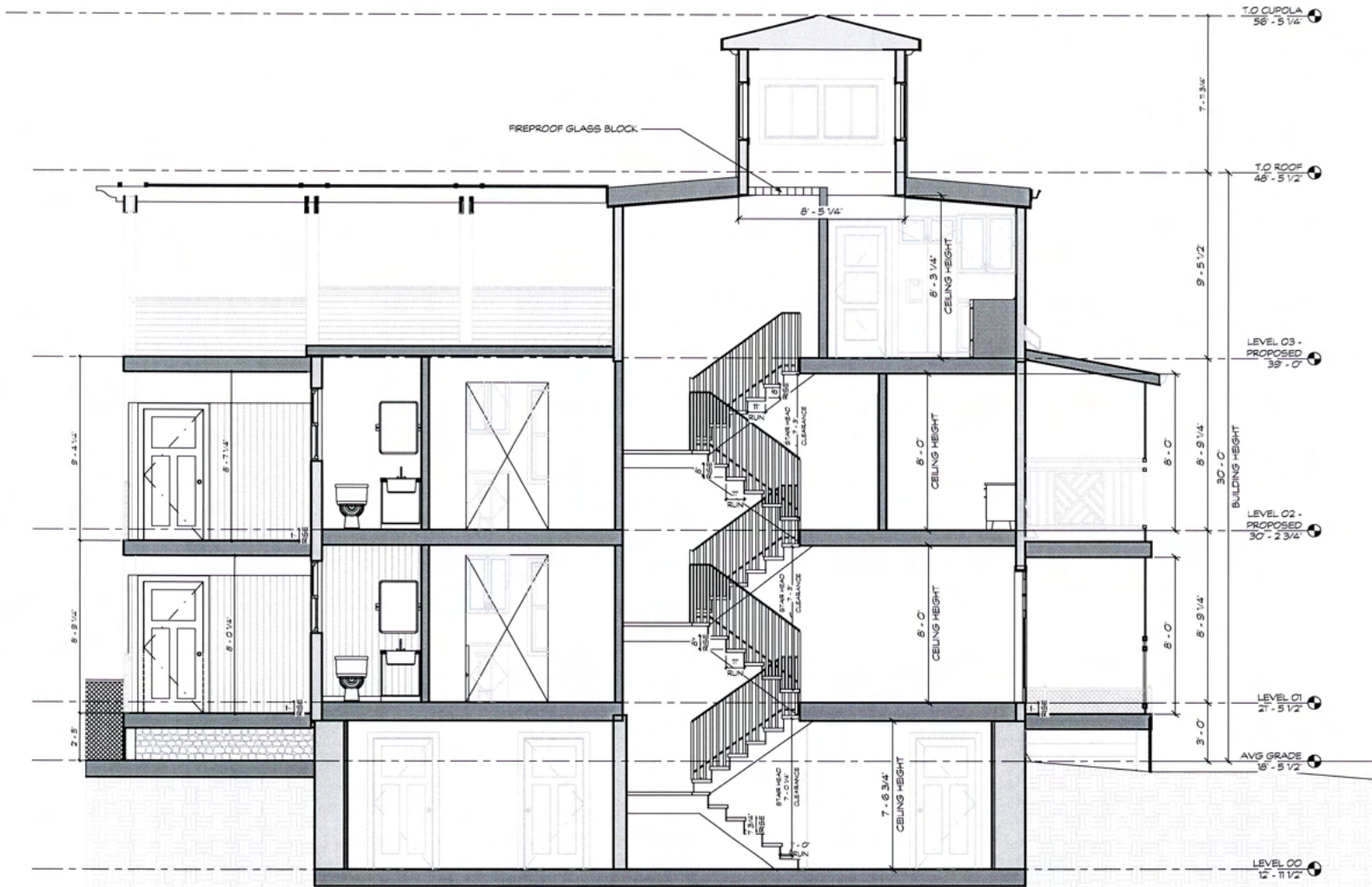
1 LATITUDINAL SECTION - EXISTING
 A9.11 3/8" = 1'-0"

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LATITUDINAL SECTION - PROPOSED



1 LATITUDINAL SECTION - PROPOSED
A9.21 3/8" = 1'-0"

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A9.21

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Newport

(Summary Data - may not be Complete Representation of Property)

Parcel: 32-214 **Location:** 7 & 9 DEARBORN ST **Owner:** TAJ RESIDENCE LLC
Account: 5719 **User Acct:** R06100 **LUC:** 20 - 4-5 Family **Zoning:** R10

Parcel Values
Total: \$1,297,200 **Land:** \$414,400 **Land Area:** 4,690 SF **Building:** \$882,800 **Assessed:** \$1,297,200

Sales Information

Book and Page	Instrument Type	Date	Price	Grantor
3190-50	Warranty	03/07/2024	\$1,225,000	RAZSADIN ALEKSEI &
3008-278	Warranty	06/07/2021	\$1,100,000	SYMINGTON DAVID L

Building Type: Apt House **Year Built:** 1900 **Grade:** C **Condition:** AV
Heat Fuel: Oil **Heat Type:** Hot Water **% Air Conditioned:** 0.00 **Fireplaces:** 0
Exterior Wall: Wood Shingle **Bsmnt Garage:** 0 **Roof Cover:** Asph/F GlS/C **# of Units:** 4
of Rooms: 0 **# of Bedrooms:** 7 **Full Bath:** 5 **1/2 Baths:** 0

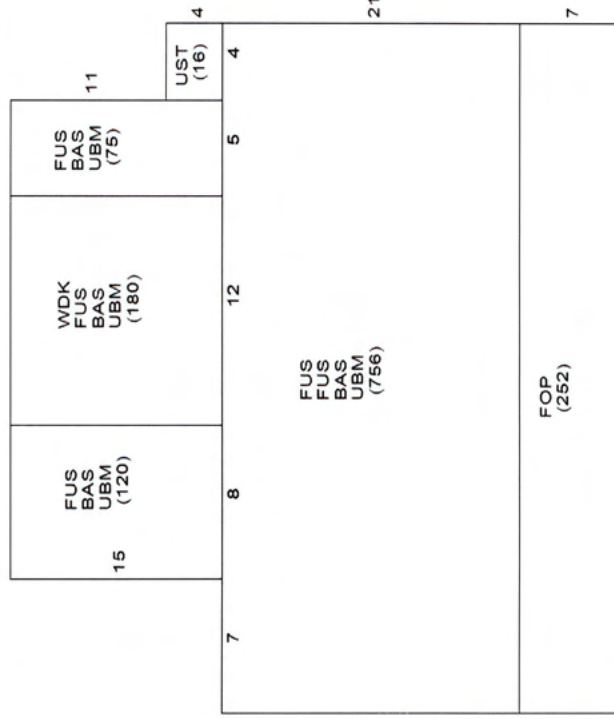
Yard Item(s)

Description	Quantity	Size	Year	Condition	Quality	Value
-------------	----------	------	------	-----------	---------	-------

Building Areas

Area	Net Area	Finished Area
Basement, Unfinished	1,131 SF	0 SF
Deck, Wood	180 SF	0 SF
First Floor	1,131 SF	1,131 SF
Porch, Open, Finished	252 SF	0 SF
Upper Story, Finished	1,887 SF	1,887 SF
Utility, Storage, Unfinis	16 SF	0 SF

Disclaimer: This information is for tax
 assessing purposes
 and is not warranted





Property Information
 ID 32-214
 Location 7 & 9 DEARBORN ST
 Owner



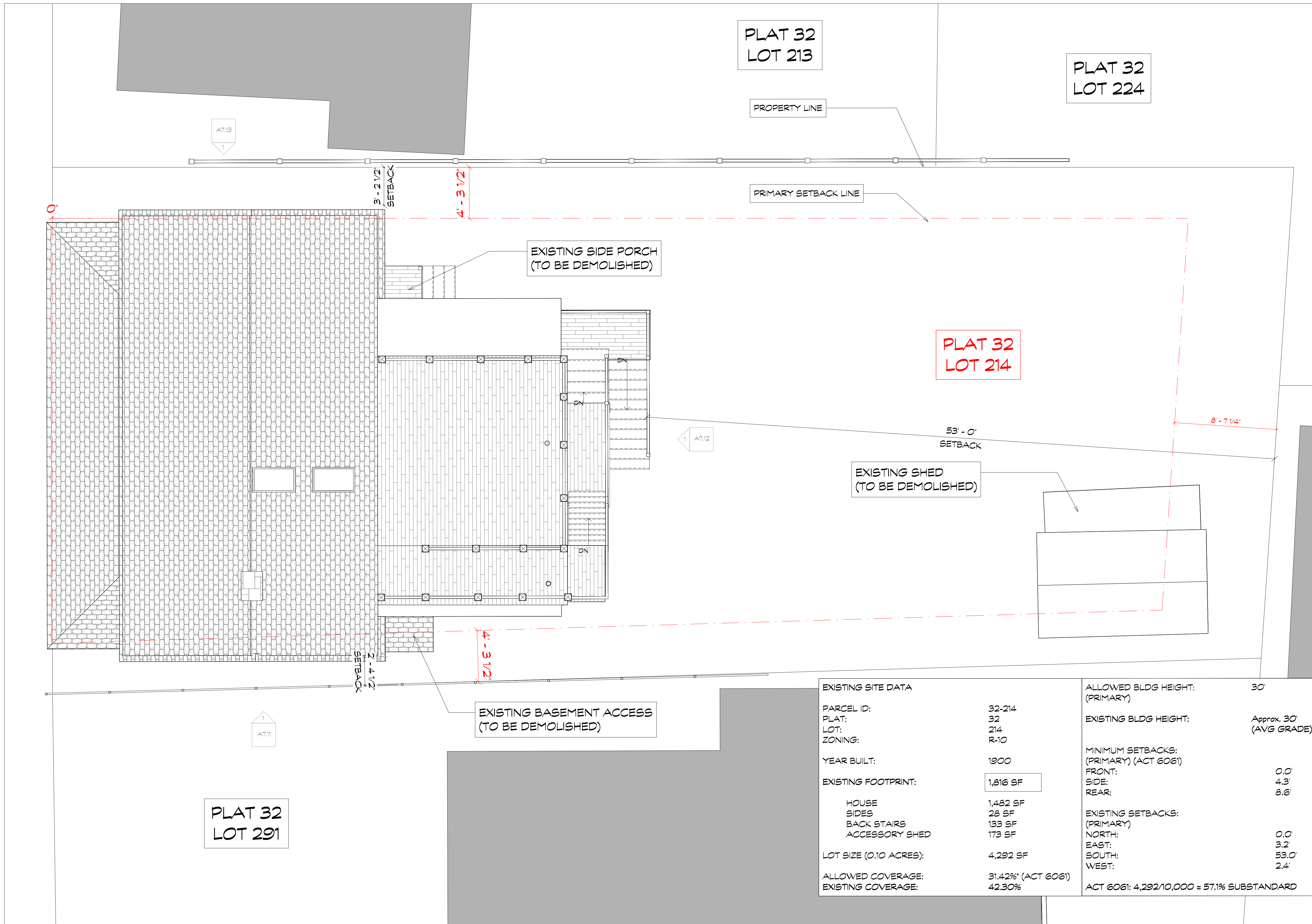
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Print map scale is approximate.
 Critical layout or measurement activities should not be done using this resource.

1" = 57.023653344906926 ft

SITE PLAN - EXISTING



EXISTING SITE DATA		ALLOWED BLDG HEIGHT: (PRIMARY)	
PARCEL ID:	32-214	ALLOWED BLDG HEIGHT: (PRIMARY)	30'
PLAT:	32	EXISTING BLDG HEIGHT:	Approx. 30' (AVG GRADE)
LOT:	214	MINIMUM SETBACKS: (PRIMARY) (ACT 606)	
ZONING:	R-10	FRONT:	0.0'
YEAR BUILT:	1900	SIDE:	4.3'
EXISTING FOOTPRINT:	1,816 SF	REAR:	8.6'
HOUSE	1,482 SF	EXISTING SETBACKS: (PRIMARY)	
SIDES	28 SF	NORTH:	0.0'
BACK STAIRS	133 SF	EAST:	3.2'
ACCESSORY SHED	173 SF	SOUTH:	53.0'
LOT SIZE (0.10 ACRES):	4,292 SF	WEST:	2.4'
ALLOWED COVERAGE:	31.42% (ACT 606)	ACT 606: 4,292/10,000 = 57.1% SUBSTANDARD	
EXISTING COVERAGE:	42.30%		



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Description:
SITE PLAN - EXISTING

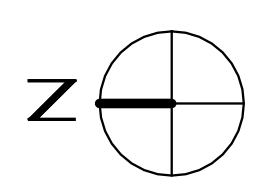
Date Issued:
9/10/2024

Scale:
AS NOTED

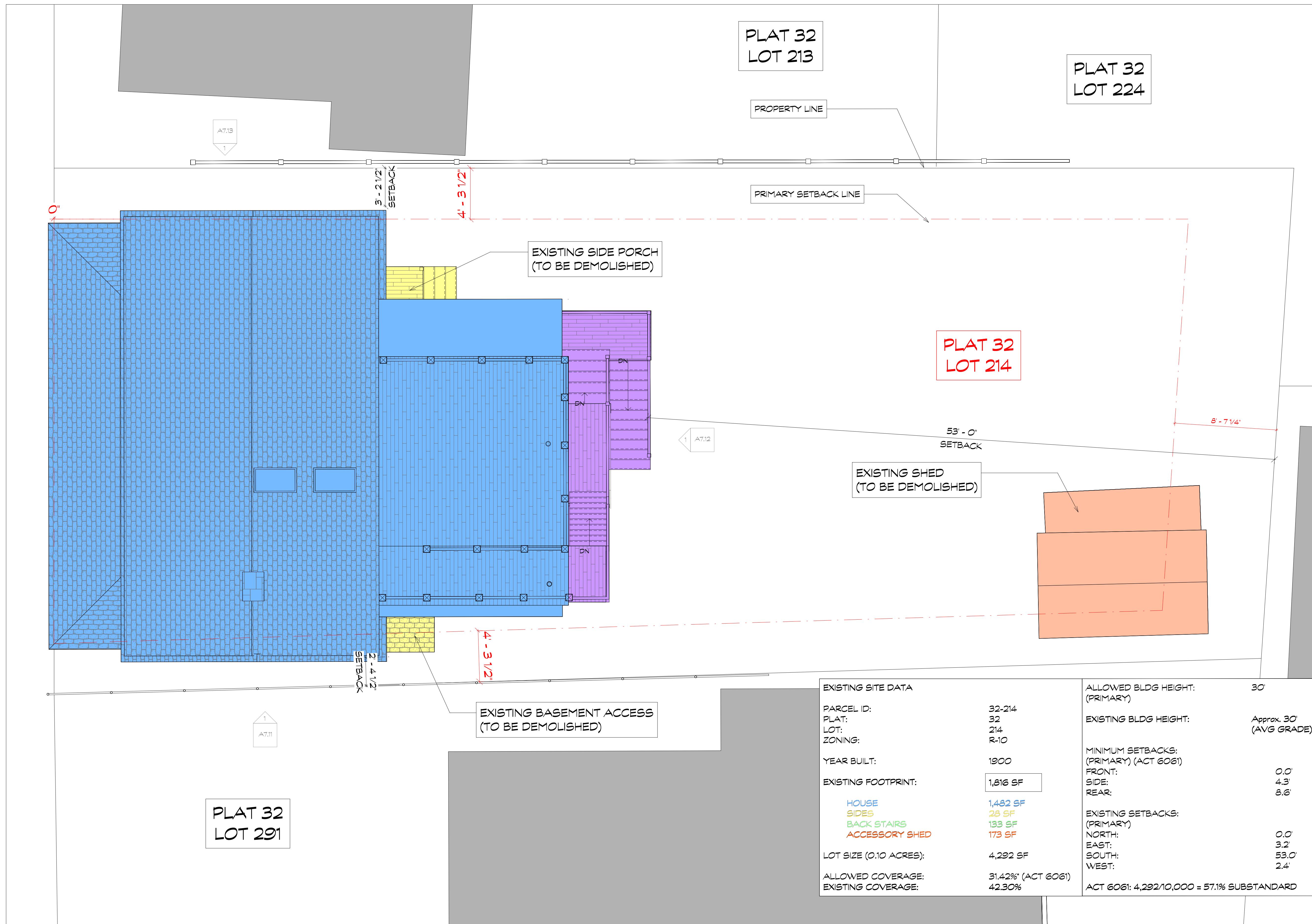
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SITE PLAN - EXISTING - CALCULATIONS



EXISTING SITE DATA		ALLOWED BLDG HEIGHT: (PRIMARY)	
PARCEL ID:	32-214	ALLOWED BLDG HEIGHT: (PRIMARY)	30'
PLAT:	32	EXISTING BLDG HEIGHT:	Approx. 30' (AVG GRADE)
LOT:	214	MINIMUM SETBACKS: (PRIMARY) (ACT 606)	
ZONING:	R-10	FRONT:	0.0'
YEAR BUILT:	1900	SIDE:	4.3'
EXISTING FOOTPRINT:	1,816 SF	REAR:	8.6'
HOUSE	1,482 SF	EXISTING SETBACKS: (PRIMARY)	
SIDES	28 SF	NORTH:	0.0'
BACK STAIRS	133 SF	EAST:	3.2'
ACCESSORY SHED	173 SF	SOUTH:	53.0'
LOT SIZE (0.10 ACRES):	4,292 SF	WEST:	2.4'
ALLOWED COVERAGE:	31.42% (ACT 606)	ACT 606: 4,292/10,000 = 57.1% SUBSTANDARD	
EXISTING COVERAGE:	42.30%		



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Description:
SITE PLAN - EXISTING - CALCULATIONS

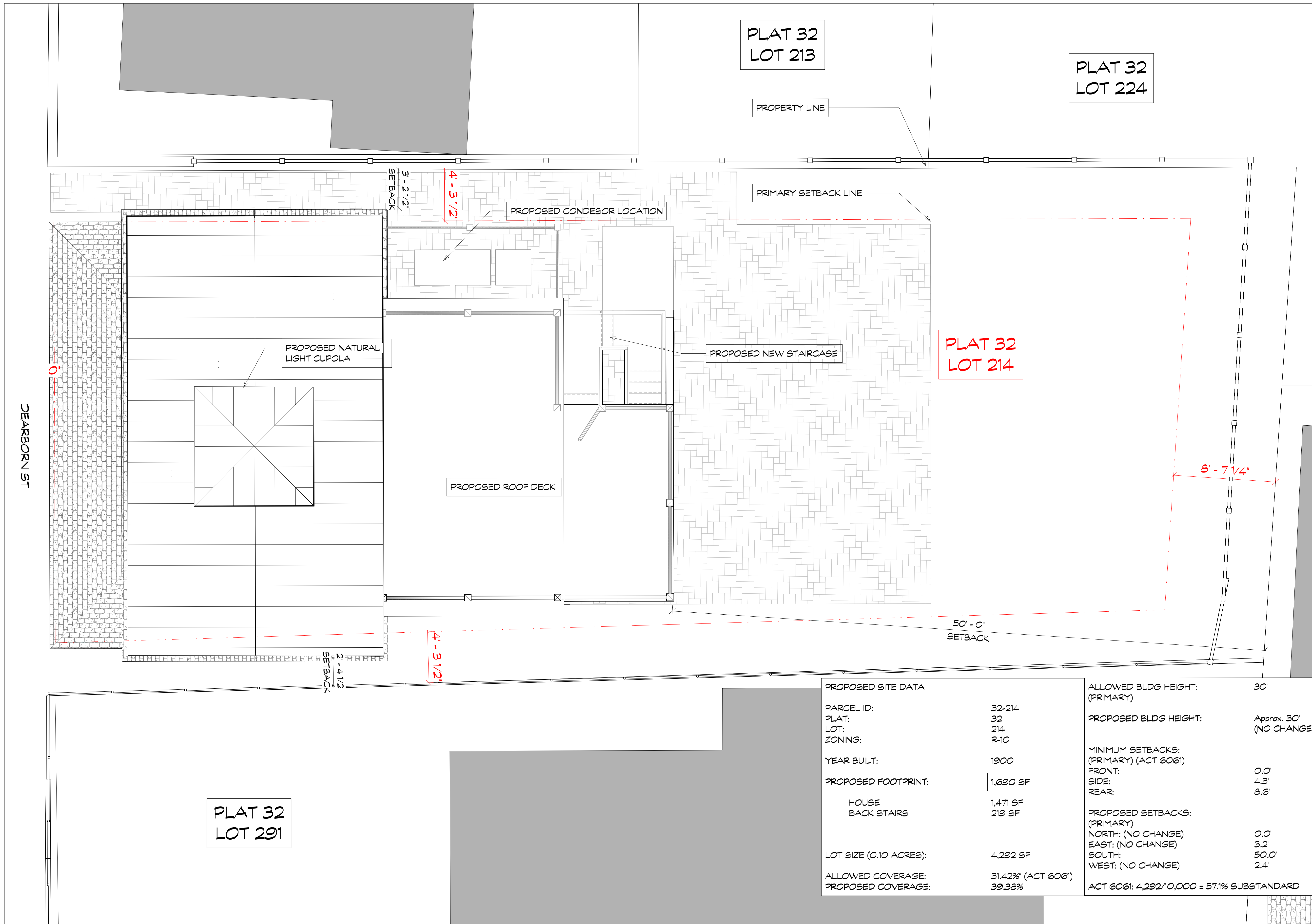
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SITE PLAN - PROPOSED



PROPOSED SITE DATA		ALLOWED BLDG HEIGHT: (PRIMARY)	30'
PARCEL ID:	32-214	PROPOSED BLDG HEIGHT:	Approx. 30' (NO CHANGE)
PLAT:	32	MINIMUM SETBACKS: (PRIMARY) (ACT 6061)	
LOT:	214	FRONT:	0.0'
ZONING:	R-10	SIDE:	4.3'
YEAR BUILT:	1900	REAR:	8.6'
PROPOSED FOOTPRINT:	1,690 SF	PROPOSED SETBACKS: (PRIMARY)	
HOUSE	1,471 SF	NORTH: (NO CHANGE)	0.0'
BACK STAIRS	219 SF	EAST: (NO CHANGE)	3.2'
LOT SIZE (0.10 ACRES):	4,292 SF	SOUTH:	50.0'
ALLOWED COVERAGE:	31.42% (ACT 6061)	WEST: (NO CHANGE)	2.4'
PROPOSED COVERAGE:	39.38%	ACT 6061: 4,292/10,000 = 57.1% SUBSTANDARD	



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Description:
SITE PLAN - PROPOSED

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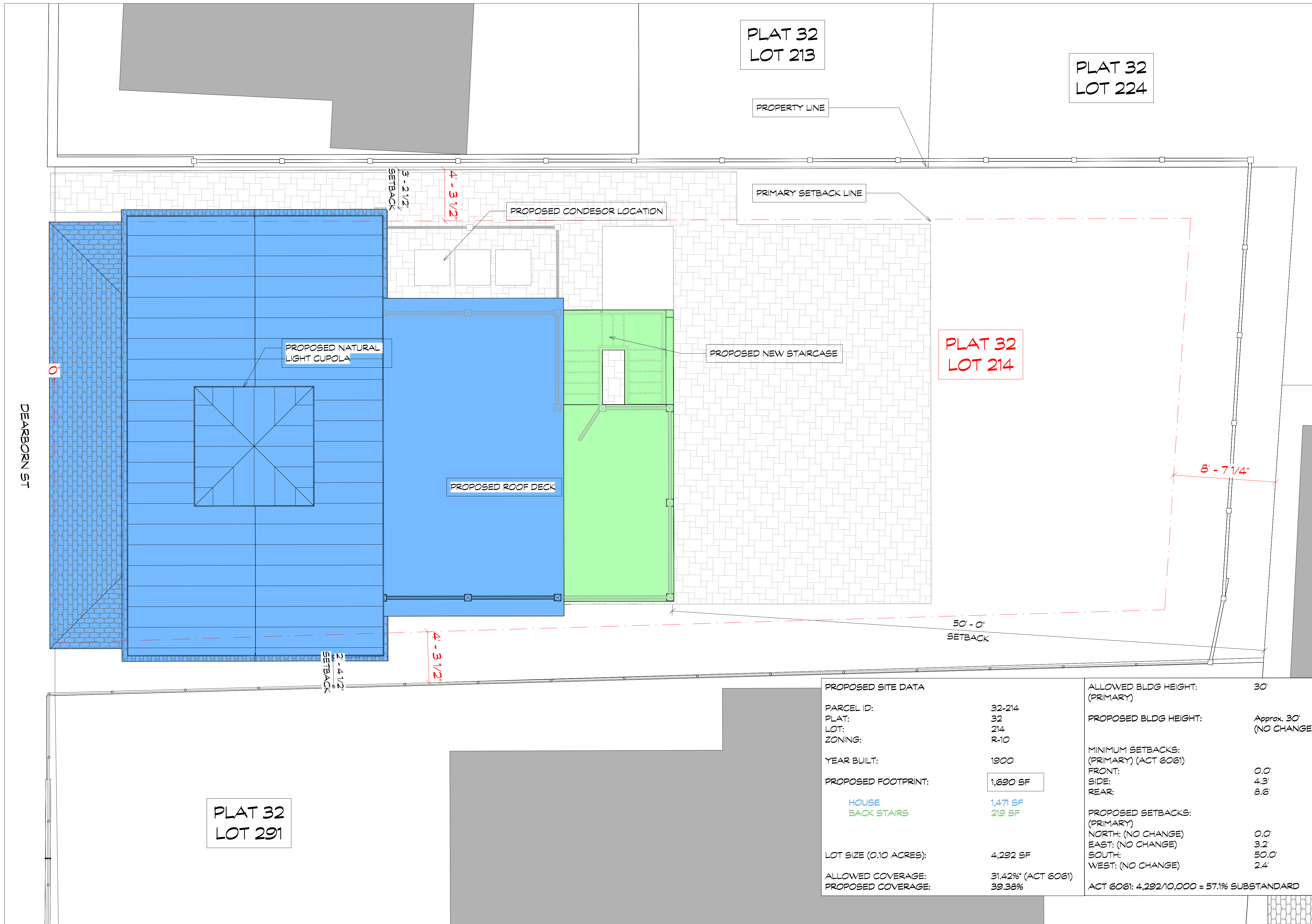
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SITE PLAN - PROPOSED - CALCULATIONS



PROPOSED SITE DATA		ALLOWED BLDG HEIGHT: (PRIMARY)	30'
PARCEL ID:	32-214	PROPOSED BLDG HEIGHT:	Approx. 30' (NO CHANGE)
PLAT:	32	MINIMUM SETBACKS: (PRIMARY) (ACT 6061)	
LOT:	214	FRONT:	0.0'
ZONING:	R-10	SIDE:	4.3'
YEAR BUILT:	1900	REAR:	8.6'
PROPOSED FOOTPRINT:	1,690 SF	PROPOSED SETBACKS: (PRIMARY)	
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PROPOSED COVERAGE:	39.38%	ACT 6061: 4,292/10,000 = 57.1% SUBSTANDARD	



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Description:
SITE PLAN - PROPOSED - CALCULATIONS

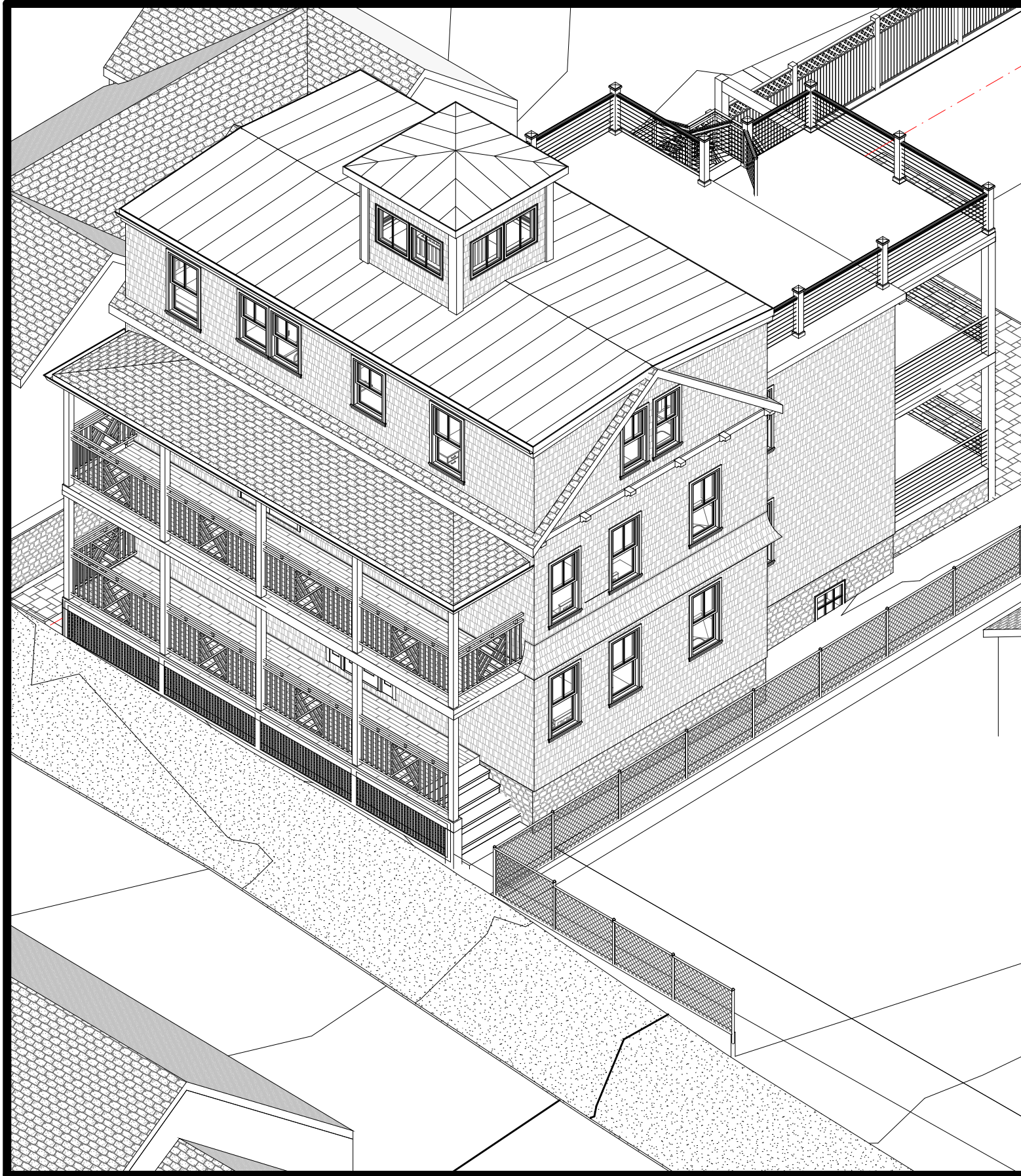
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1 AXONOMETRIC - PROPOSED
AO.00

DEARBORN
7-9 DEARBORN ST.
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Sheet List

Sheet Number	Sheet Name
00: GENERAL	
AO.00	COVER
AO.02	SYMBOLS & ABBREVIATIONS
AO.03A	FEMA MAP
AO.03B	CLASS 1 SITE SURVEY
AO.04A	EXISTING CONDITIONS - EXTERIOR
AO.05A	AXONOMETRIC - EXISTING
AO.05B	AXONOMETRIC - EXISTING
AO.06A	AXONOMETRIC - PROPOSED
AO.06B	AXONOMETRIC - PROPOSED
AO.09	NEIGHBORHOOD ANALYSIS
AO.10A	NEIGHBORHOOD PLAN - EXISTING
AO.10B	NEIGHBORHOOD PLAN - PROPOSED
AO.12	SITE PLAN - EXISTING
AO.22	SITE PLAN - PROPOSED
01: EXISTING FLOOR PLANS	
A1.01	FLOOR PLAN - LEVEL 00 - EXISTING / DEMO
A1.10	FLOOR PLAN - LEVEL 01 - EXISTING / DEMO
A1.20	FLOOR PLAN - LEVEL 02 - EXISTING / DEMO
A1.30	FLOOR PLAN - LEVEL 03 - EXISTING / DEMO
A1.40	FLOOR PLAN - ROOF - EXISTING / DEMO
02: PROPOSED FLOOR PLANS	
A2.00A	WINDOW SCHEDULE
A2.00B	DOOR SCHEDULE
A2.01	FLOOR PLAN - LEVEL 00 - PROPOSED
A2.10	FLOOR PLAN - LEVEL 01 - PROPOSED
A2.20	FLOOR PLAN - LEVEL 02 - PROPOSED
A2.30	FLOOR PLAN - LEVEL 03 - PROPOSED
A2.40	FLOOR PLAN - ROOF - PROPOSED
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A3.00	EQUIPMENT & LIGHTING SCHEDULE
A3.01	RCP - LEVEL 00 - PROPOSED
A3.10	RCP - LEVEL 01 - PROPOSED
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07: BUILDING ELEVATIONS	
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A7.12	ELEVATION - SOUTH - EXISTING
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A7.20	ELEVATION - NORTH - PROPOSED
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09: SECTIONS	
A9.00	WALL SECTIONS
A9.11	LATITUDINAL SECTION - EXISTING
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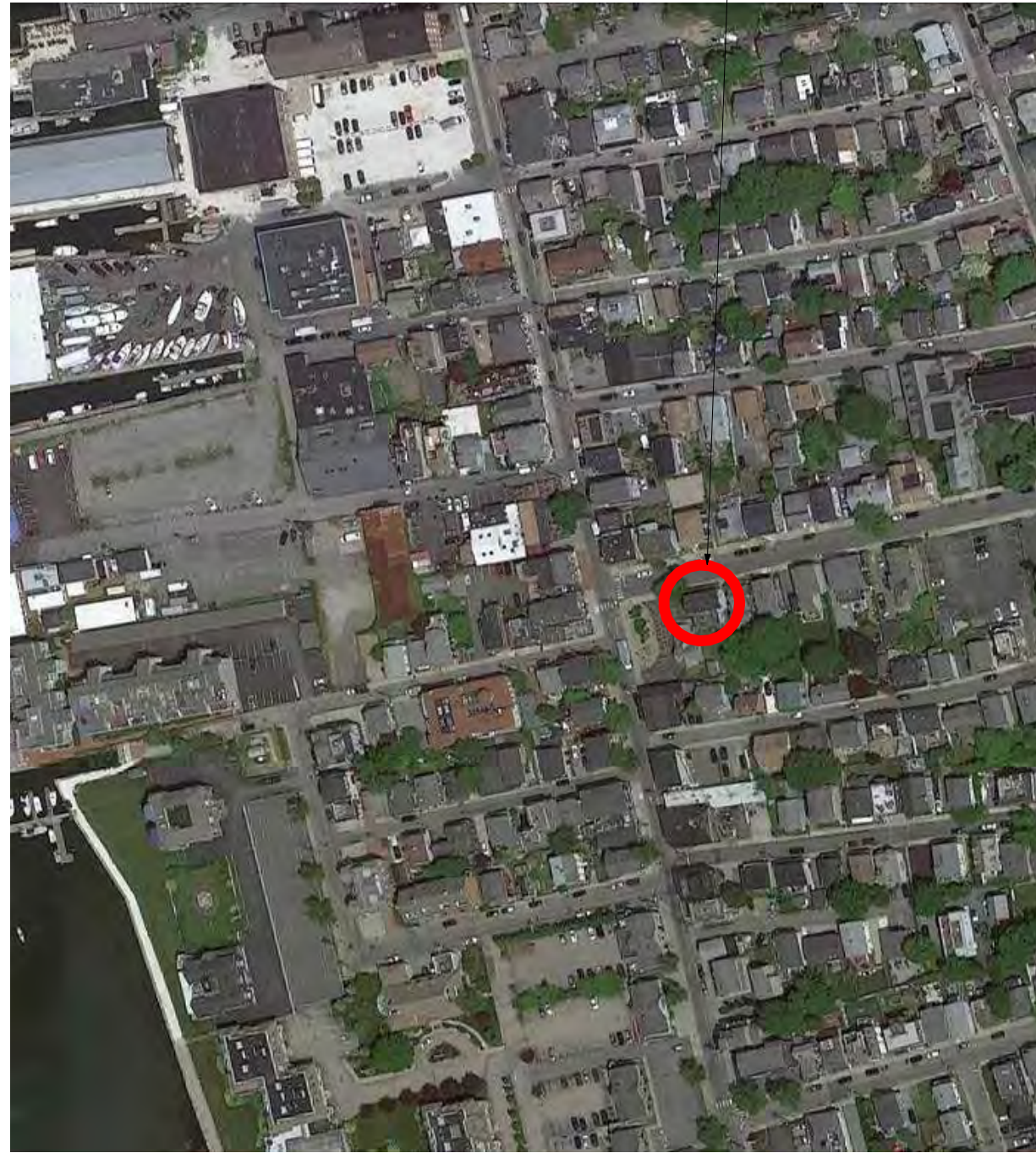
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SYMBOLS & ABBREVIATIONS LOCATION PLAN

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ABBREVIATIONS

∅	AND	E	EAST	LAM	LAMINATE(D)	S	SOUTH
L	ANGLE	EA	EACH	LAV	LAVATORY	S-DWGS	STRUCTURAL DRAWINGS
@	AT	EBU	EMERGENCY BATTERY UNIT	LB	LEAD	SAN	SANITARY
⊕	CENTERLINE	EJ	EXPANSION JOINT	LCC	LEAD COATED COPPER	SC	SOLID CORE
⊙	DIAMETER	EL	ELEVATION	LF	LINEAR FEET	SCHED	SCHEDULE
⊖	FEET, FOOT	ELECL	ELECTRICAL	LH	LEFT HAND	SECT	SECTION
6'	INCHES	ELEV	ELEVATOR	LL	LIVE LOAD	SERV	SERVICE
AB	ANCHOR BOLT	EMERG	EMERGENCY	LLH	LONG LEG HORIZONTAL	SF	SQUARE FEET
A/C	AIR CONDITIONING	ENCL	ENCLOSURE	LLV	LONG LEG VERTICAL	SHT	SHEET
ACOUS	ACOUSTICAL	ENGR	ENGINEER	LP	LIGHTING PANEL	SIM	SIMILAR
ACT	ACOUSTICAL CEILING TILE	EP	ELECTRICAL PANEL	LT(G)	LIGHTING	SMH	SANITARY MANHOLE
ADDN	ADDITION	EQ	EQUAL	LTWT	LIGHTWEIGHT	SPEC	SPECIFICATIONS
ADDNL	ADDITIONAL	EQUIP	EQUIPMENT	M-DWGS	MECHANICAL DRAWINGS	SQ	SQUARE
ADJ	ADJUSTABLE	EWC	ELECTRIC WATER COOLER	MAS	MASONRY	SSTL	STAINLESS STEEL
AFF	ABOVE FINISHED FLOOR	EXH	EXHAUST	MAX	MAXIMUM	ST	STORM
AHU	AIR HANDLING UNIT	EX	EXISTING	MDP	MAIN DISTRIBUTION PANEL	STD	STANDARD
ALT	ALTERNATE	EXP	EXPANSION	MECH	MECHANICAL	STL	STEEL
ALUM	ALUMINUM	EXT	EXTERIOR	MED	MEDIUM	STRUCT	STRUCTURAL
ANCH	ANCHOR, ANCHORAGE	F(6.0)	SQUARE FOOTING SIZE	MEMB	MEMBRANE	SUSP	SUSPENDED
ANOD	ANODIZED	FA	FIRE ALARM	MET	METAL	SW	SWITCH
APPROX	APPROXIMATE	FACP	FIRE ALARM CONTROL PANEL	MFR	MANUFACTURER	SWGR	SWITCHGEAR
ARCH	ARCHITECT, ARCHITECTURAL	FD	FLOOR DRAIN, FIRE DAMPER	MH	MANHOLE	SYM	SYMMETRICAL
B&B	BALLED AND BURLAPPED	FDN	FOUNDATION	MIN	MINIMUM	T	TREAD
B/C	BOTTOM OF CURB	FE	FIRE EXTINGUISHER	MIR	MIRROR	T&B	TOP AND BOTTOM
BD	BOARD	FEC	FIRE EXTINGUISHER CABINET	MISC	MISCELLANEOUS	T&G	TONGUE AND GROOVE
B/F	BOTTOM OF FOOTING	FF	FINISH FLOOR	MO	MASONRY OPENING	TOC	TOP OF CURB
BIT	BITUMINOUS	FG	FINISHED GRADE	MTD	MOUNTED	TOF	TOP OF FOOTING
BL	BUILDING LINE	FHC	FIRE HOSE CABINET	N	NORTH	TOP	TOP OF PLATE
BLDG	BUILDING	FIN	FINISH(ED)	NIC	NOT IN CONTRACT	TOY	TOP OF MASONRY
BLK(G)	BLOCKING	FIXT	FIXTURE	NO	NUMBER	TOS	TOP OF STEEL
BM	BEAM	FLASH	FLASHING	NO	NOMINAL	TOW	TOP OF WALL
BM	BENCH MARK	FLDG	FOLDING	NOM	NOMINAL	TEL	TELEPHONE
BOT	BOTTOM	FLR(G)	FLOORING	NTS	NOT TO SCALE	TEMP	TEMPERATURE, TEMPERED
BRG	BEARING	FLUOR	FLUORESCENT	OC	ON CENTER	THK	THICK(NESS)
BRK	BRICK	FOF	FACE OF FINISH	OD	OUTSIDE DIAMETER	THRES	THRESHOLD
BSMT	BASEMENT	FOM	FACE OF MASONRY	OPG	OPENING	TYP	TYPICAL
BUR	BUILT-UP ROOFING	FOS	FACE OF STUD	OPP	OPPOSITE	TV	TELEVISION
		FFRF(G)	FIREPROOF(ING)	OZ	OUNCE	U	UP
		FR	FRAME	PA	PUBLIC ADDRESS	UG	UNDERGROUND
		FS	FULL SIZE	PCF	POUNDS PER CUBIC FOOT	UH	UNIT HEATER
		FT	FOOT, FEET	PERF	PERFORATED	UN	UNLESS OTHERWISE NOTED
		FTG	FOOTING	PL	PLATE	UNFIN	UNFINISHED
		FURN	FURNISH(ED)	PLAM	PLASTIC LAMINATE	UV	UNIT VENTILATOR
		FURR	FURRING	PLAS	PLASTER	V	VENT
		FWC	FABRIC WALLCOVERING	PLBG	PLUMBING	VCT	VINYL COMPOSITION TILE
				PLF	POUNDS PER LINEAR FOOT	VERT	VERTICAL
				PLYWD	PLYWOOD	VENT	VENTILATOR
				PNL	PANEL	VIF	VERIFY IN FIELD
				POL	POLISH(ED)	VWC	VINYL WALLCOVERING
				PP	POWER PANEL	W	WEST
				PR	PAIR	W	WITH
				PRTN	PARTITION	W/O	WITHOUT
				PSF	POUNDS PER SQUARE FOOT	WC	WATER CLOSET
				PSI	POUNDS PER SQUARE INCH	WD	WOOD
				PT	PRESSURE TREATED	WIC	WALK-IN CLOSET
				PTD	PAINTED	WP	WATERPROOF, WORK POINT
				PV	PLUMBING VENT	WR	WATER RESISTANT
				PVC	OLYVINYL CHLORIDE	WSCT	WAINSCOT
				PVMT	PAVEMENT	WT	WEIGHT
				QT	QUARRY TILE	WV	WATER VALVE
				QTY	QUANTITY	WWF	WELDED WIRE FABRIC
				RAD	RADIUS	YD	YARD
				RCP	REFLECTED CEILING PLAN		
				RD	ROOF DRAIN		
				RECEPT	RECEPTACLE		
				REF	REFERENCE		
				REINF	REINFORCE(D)(ING)		
				REQD	REQUIRED		
				RESIL	RESILIENT		
				RET	RETURN		
				REV	REVISIONS, REVISED		
				RFG	ROOFING		
				RH	RIGHT HAND		
				RM	ROOM		
				RO	ROUGH OPENING		
				ROW	RIGHT OF WAY		
				RWL	RAIN WATER LEADER		
				RV	ROOF VENT		
DBL	DOUBLE	ID	INSIDE DIAMETER				
DET	DETAIL	IN	INCH				
DF	DRINKING FOUNDATION	INCAND	INCANDESCENT				
DIA	DIAMETER	INCL	INCLUDE(D)(ING)				
DIM	DIMENSION	INS	INSULATE(D)(ION)				
DISP	DISPENSER	INT	INTERIOR				
DL	DEAD LOAD	INV	INVERT				
DMH	DRAINAGE MANHOLE						
D	DOWN	JB	JUNCTION BOX				
DP	DISTRIBUTION PANEL	JST	JOIST				
DR	DOOR	JT	JOINT				
DWGS	DRAWING	K	KIP(,000 POUNDS)				
		K-FT	KIP FEET				

MATERIAL DESIGNATIONS

	EARTH/COMPACT FILL		PLYWOOD		POROUS FILL/GRAVEL		FINISH WOOD
	COMMON FACE BRICK		BATT INSULATION		CAST IN PLACE/PRECAST CONCRETE		BLOCKING (NON-CONTINUOUS)
	METALS		ACOUSTICAL TILE		CONCRETE BLOCK		SPRAY FOAM INSULATION
	ROUGH WOOD - CONTINUOUS		GYPSUM WALLBOARD		RIGID INSULATION		

SYMBOL DESIGNATIONS

WALL TYPE		ELEVATION TAG		DRAWING TITLE TAG	
DOOR ID		ROOM TAG		FLOOR ELEVATION	
WINDOW ID		COLUMN GRID TAG		SECTION TAG	
CSI CONSTRUCTION NOTE		NORTH ARROW		ENLARGED DETAIL TAG	
HANDICAP ACCESS TAG					
REVISION TAG					



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Description:
**SYMBOLS &
ABBREVIATIONS**

Date Issued:
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National Flood Hazard Layer FIRMette



71°19'9"W 41°28'56"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AD, AA, VE, AP
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile. Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levees. See Notes. Zone X
		Area with Flood Risk due to Levees Zone D
OTHER AREAS		Area of Minimal Flood Hazard Zone A
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		Cross Sections with 1% Annual Chance
		Water Surface Elevation
		Coastal Tract
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/12/2024 at 9:45 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation data, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



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Description:
FEMA MAP

Date Issued:
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CLASS 1 SITE SURVEY



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CLASS 1 SITE SURVEY

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VICINITY MAP - NOT TO SCALE

SURVEY NOTES:

- PROPERTY KNOWN AS LOT 214 AS SHOWN ON THE CITY OF PROVIDENCE, PROVIDENCE COUNTY, STATE OF RHODE ISLAND; PLAT NO. 32.
- AREA = 4,292± SQUARE FEET OR 0.10± ACRES
- UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATION IS TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY N. VELTRI SURVEY, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X SHADED (AREAS DETERMINED TO BE INSIDE THE 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE.) PER FEMA MAP 440050C 0177 J, REVISED DATE SEPTEMBER 4, 2013.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- THIS SURVEY DOES NOT SHOW THE EXISTENCE OF WETLANDS, IF ANY.

REFERENCES:

- DEED BOOK 3150 PAGE 50
- PLAN ENTITLED "MINOR SUBDIVISION PREPARED FOR MR. JOSEPH GAGLIANO", PREPARED BY NORTHEAST ENGINEERS & CONSULTANTS, INC. LOCATED IN BOOK 25 VOL. 1 PAGE 9
- PLAN ENTITLED "PLAN OF LAND IN NEWPORT, RI. SURVEYED FOR STANDARD OIL COMPANY OF NEW YORK", BY WATERMAN ENGINEERING, LOCATED IN PLAN BOOK 2, PAGE 54

ZONING NOTES

ZONING DISTRICT: RESIDENTIAL (R10)

MINIMUM LOT REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA	10,000 SF SEE NOTE BELOW	4,292 SF
MINIMUM LOT FRONTAGE	80'	42.11'
MAXIMUM BUILDING HEIGHT	30'	29' 10"
MAXIMUM LOT COVERAGE	20% (30.02% WITH ACT 5061 BONUS)	38.4%

SETBACK REQUIREMENTS

	REQUIRED	PROVIDED
MINIMUM FRONT SETBACK	15' (0' NEWPORT ORDINANCE 11.10.00P ADJUSTED)	0'
MINIMUM SIDE SETBACK	10' (4.7' WITH ACT 5061 SEE NOTE BELOW)	2.4'
MINIMUM REAR SETBACK	20' (8.4' WITH ACT 5061 SEE NOTE BELOW)	59.7'

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.
NON-CONFORMING LOT OF RECORD THEREFORE MAY BE IMPACTED BY RI ACT 5061 ADJUSTMENTS.

CERTIFICATION

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015 AS FOLLOWS:

<small>A. TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY</small>	<small>MEASUREMENT SPECIFICATION: I</small>
<small>B. OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY (PLANIMETRIC SURVEY) TOPOGRAPHIC SURVEY</small>	<small>MEASUREMENT SPECIFICATION: T-2</small>
<small>C. THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PERFORM A BOUNDARY SURVEY FOR THE REMOVAL AND CONSTRUCTION OF NEW DECKS.</small>	

NICHOLAS VELTRI
RHODE ISLAND PROFESSIONAL LAND SURVEYOR LICENSE #1719
CERTIFICATE OF AUTHORIZATION #A46

PLAN OF LAND

REPLAT OF ASSESSOR'S PLAT 32 LOT 214

PREPARED FOR:
THE TAJ RESIDENCES, LLC.
10 WINDSOR DRIVE
FOXBORO, MA 02035

N. VELTRI SURVEY, INC.
26 JULIET ROAD
NARRAGANSETT, RI 02882
nveltrisurvey@vericad.com

COMPUTED BY:	DRAWN BY:	APPROVED BY:	DATE:	DRAWING NO.:
CMS	CMS	NV	4-26-24	1 OF 1

EXISTING CONDITIONS - EXTERIOR



O1: EXISTING VIEW - FRONT



O2: EXISTING VIEW - REAR



O3: EXISTING VIEW - ROOF DECK



O4: EXISTING VIEW - SHED



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Revisions:

No.	Description	Date

Project Number: 24007

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Description:
**EXISTING
CONDITIONS -
EXTERIOR**

Date Issued:
9/9/2024

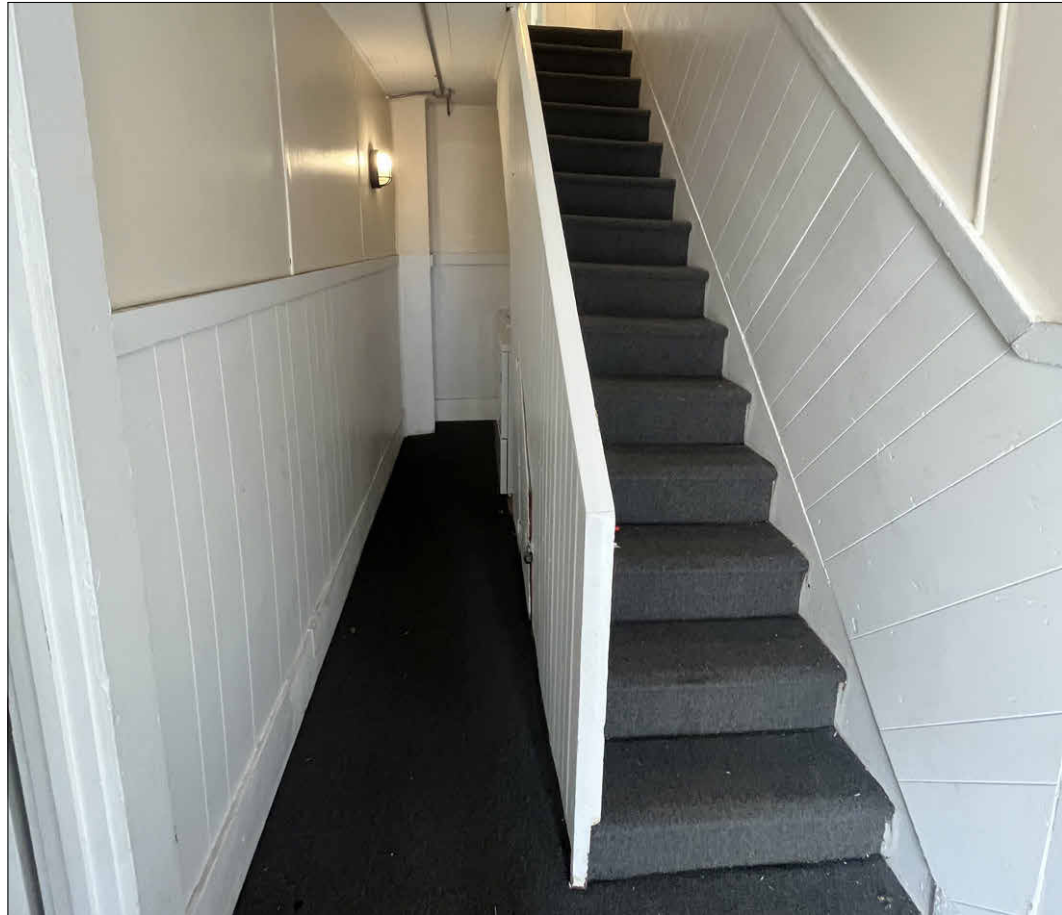
Scale:
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EXISTING CONDITIONS - INTERIOR



O1: EXISTING VIEW - INTERIOR STAIRS



O2: EXISTING VIEW - BRICK ACCENT WALL



O3: EXISTING VIEW - TIGHT KITCHEN LAYOUTS



O4: EXISTING VIEW - THIRD FLOOR **NOTE: PRINTED AT HALF SCALE @ 11x17**



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AXONOMETRIC - EXISTING



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1 LEFT AXONOMETRIC - EXISTING
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AXONOMETRIC - EXISTING



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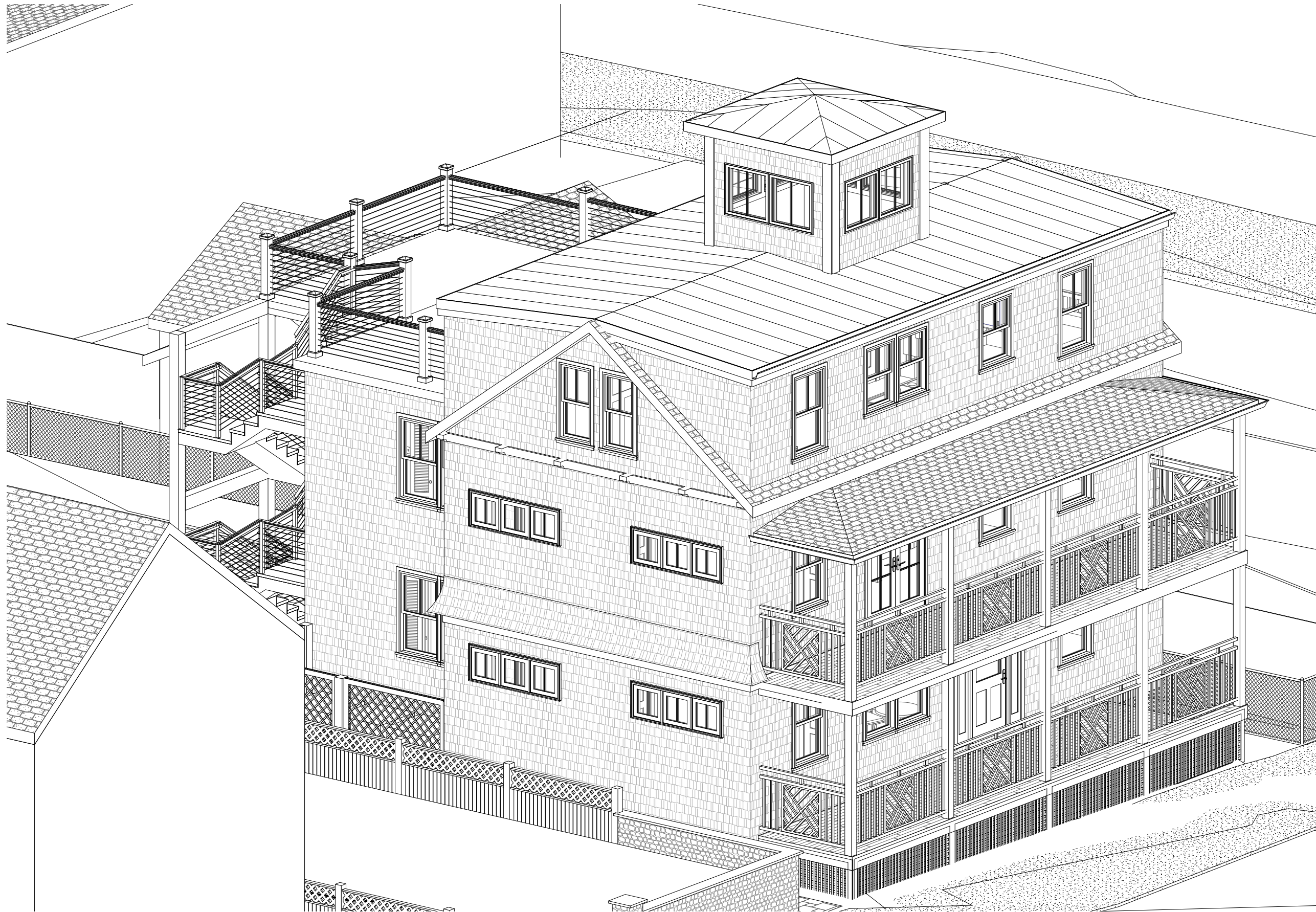
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AXONOMETRIC - PROPOSED



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NIEGHBORHOOD ANALYSIS



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Description:
NIEGHBORHOOD ANALYSIS

Date Issued:
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A0.09

Lot ID	Address	Lot	Lot	Outbuildings	Building	Total	Building
		Size (ac)	Size (sf)	Footprint (sf)	Footprint (sf)	Footprint (sf)	Coverage
35-196	527 THAMES ST	0.06	2682.00	0.00	2345.00	2345.00	87.43%
32-194	2 DEARBORN ST	0.04	1571.00	0.00	1156.00	1156.00	73.58%
35-285	2 GOODWIN ST	0.03	1372.00	0.00	899.00	899.00	65.52%
32-222	516-518 THAMES ST	0.06	2717.00	0.00	1759.00	1759.00	64.74%
35-107	537 THAMES ST	0.03	1,180.0	0.00	744.0	744.00	63.05%
35-149	528 THAMES ST	0.08	3513.00	0.00	2162.00	2162.00	61.54%
35-128	517 THAMES ST	0.06	2400.00	64.00	1356.00	1420.00	59.17%
32-229	30 & 32 HOLLAND ST	0.05	2,111.0	0.00	1,211.0	1211.00	57.37%
32-198	22 DEARBORN ST	0.06	2,720.0	270.00	1,254.0	1524.00	56.03%
32-299	509-513 THAMES ST	0.07	2994.00	0.00	1631.00	1631.00	54.48%
35-124	523-525 THAMES ST	0.06	2400.00	0.00	1268.00	1268.00	52.83%
35-020-6	515 THAMES ST	0.04	1855.00	0.00	980.00	980.00	52.83%
32-273	6 DEARBORN ST	0.05	2300.00	0.00	1204.00	1204.00	52.35%
35-014	31 HOLLAND ST	0.04	1892.00	0.00	984.00	984.00	52.01%
32-302	23 S BAPTIST ST	0.03	1496.00	0.00	768.00	768.00	51.34%
35-017	15-17 HOLLAND ST	0.04	1,874.0	56.00	898.0	954.00	50.91%
32-215	505-507 THAMES ST	0.11	4690.00	0.00	2286.00	2286.00	48.74%
35-151	12 DEAN AVE	0.06	2396.00	0.00	1160.00	1160.00	48.41%
35-149-4	6 DEAN AVE	0.06	2670.00	0.00	1291.00	1291.00	48.35%
32-186	19 S BAPTIST ST	0.08	3700.00	0.00	1744.00	1744.00	47.14%
32-197	DEARBORN ST	0.06	2,762.4	0.00	1,283.7	1283.67	46.47%
32-309	11 S BAPTIST ST	0.05	2030.00	0.00	938.00	938.00	46.21%
32-185	23 1/2 S BAPTIST ST	0.04	1804.00	0.00	820.00	820.00	45.45%
35-125-4	3 GOODWIN ST	0.06	2512.00	0.00	1140.00	1140.00	45.38%
35-273	4 CODDINGTON WHARF	0.04	1871.00	28.00	817.00	845.00	45.16%
32-305	494 THAMES ST	0.02	819.00	0.00	368.00	368.00	44.93%
32-213	13 DEARBORN ST	0.05	2231.00	100.00	852.00	952.00	42.67%
32-214	7-9 DEARBORN	0.10	4292.00	173.00	1643.00	1816.00	42.31%
35-016	23 HOLLAND ST	0.04	1920.00	0.00	792.00	792.00	41.25%
35-019	520-524 THAMES ST	0.07	3,205.0	0.00	1,315.0	1315.00	41.03%
32-192	501 THAMES ST	0.20	8768.00	0.00	3518.00	3518.00	40.12%
32-216	7 CODDINGTON WHARF	0.04	1562.00	0.00	620.00	620.00	39.69%
35-150	10 DEAN AVE	0.07	3029.00	0.00	1199.00	1199.00	39.58%
35-152	14 DEAN AVE	0.06	2445.00	0.00	966.00	966.00	39.51%
35-229	55 HAMMOND ST	0.11	4,992.0	400.00	1,544.0	1944.00	38.94%
32-188	7 S BAPTIST ST	0.05	2023.00	1.00	765.00	766.00	37.86%
35-125-6	2 CODDINGTON WHARF	0.04	1546.00	0.00	584.00	584.00	37.77%
32-223	10 HOLLAND ST	0.05	1989.00	0.00	725.00	725.00	36.45%
35-015	27 HOLLAND ST	0.05	2292.00	64.00	738.00	802.00	34.99%
32-199	32 DEARBORN ST	0.12	5200.00	400.00	1379.00	1779.00	34.21%
32-233	27 S BAPTIST ST	0.08	3500.00	200.00	974.00	1174.00	33.54%
32-225	18 HOLLAND ST	0.05	2,278.0	96.00	666.0	762.00	33.45%
32-187	15 S BAPTIST ST	0.07	3196.00	0.00	1058.00	1058.00	33.10%
32-196	14 DEARBORN ST	0.07	3254.00	0.00	1056.00	1056.00	32.45%
32-193	492 THAMES ST	0.06	2511.40	0.00	812.00	812.00	32.33%
32-224	12 HOLLAND ST	0.05	2046.00	0.00	640.00	640.00	31.28%
32-210	25 DEARBORN ST	0.13	5563.00	0.00	1714.00	1714.00	30.81%
32-195	10 DEARBORN ST	0.08	3572.00	0.00	1092.00	1092.00	30.57%
32-226	22 HOLLAND ST	0.11	4,698.0	240.00	1,193.0	1433.00	30.50%
32-190	490 THAMES ST	0.05	2369.00	0.00	720.00	720.00	30.39%
32-189	488 THAMES ST	0.08	3,498.0	0.00	1,056.0	1056.00	30.19%
32-209	31 DEARBORN ST	0.16	7,168.0	400.00	1,606.0	2006.00	27.99%
32-211	21 DEARBORN ST	0.13	5,519.0	0.00	1,412.0	1412.00	25.58%
32-198-4	26 DEARBORN ST	0.09	4,040.0	80.00	819.0	899.00	22.25%
32-212	17 DEARBORN ST	0.08	3676.00	0.00	800.00	800.00	21.76%
35-018	13 HOLLAND ST	0.06	2764.00	0.00	581.00	581.00	21.02%
32-291	514 THAMES ST COR DEARBORN	0.17	7373.00	1.00	906.00	907.00	12.30%
Average		0.07	3032.47	45.14	1161.61	1206.75	42.94%

CURRENT EXISTING

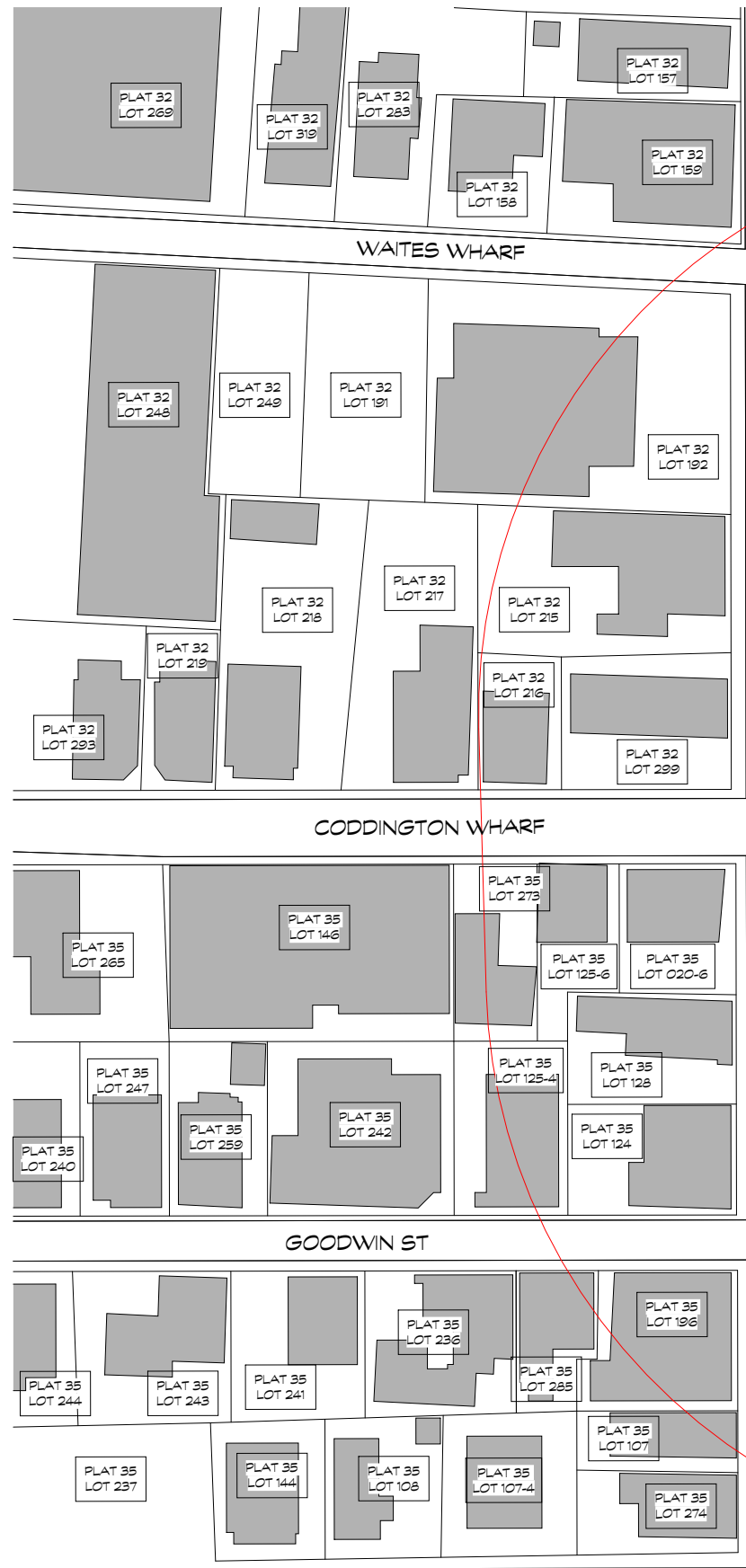
PROPOSED

ID	ADRESS	LOT (AC)	LOT (SF)	OUTBLDGS	BUILDING	COVERAGE
32-214	7-9 DEARBORN ST	0.10	4,292	0 SF	1,690 SF	39.38%

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NEIGHBORHOOD PLAN - PROPOSED



200' RADIUS ABUTTING PROPERTY LINE

S BAPTIST ST

S BAPTIST ST

WAITES WHARF

THAMES ST

DEARBORN ST

DEARBORN ST

CODDINGTON WHARF

THAMES ST

HOLLAND ST

HOLLAND ST

GOODWIN ST

DEAN ST

200'-0"

1" = 30'-0"



1 NEIGHBORHOOD PLAN - PROPOSED
AC.10B



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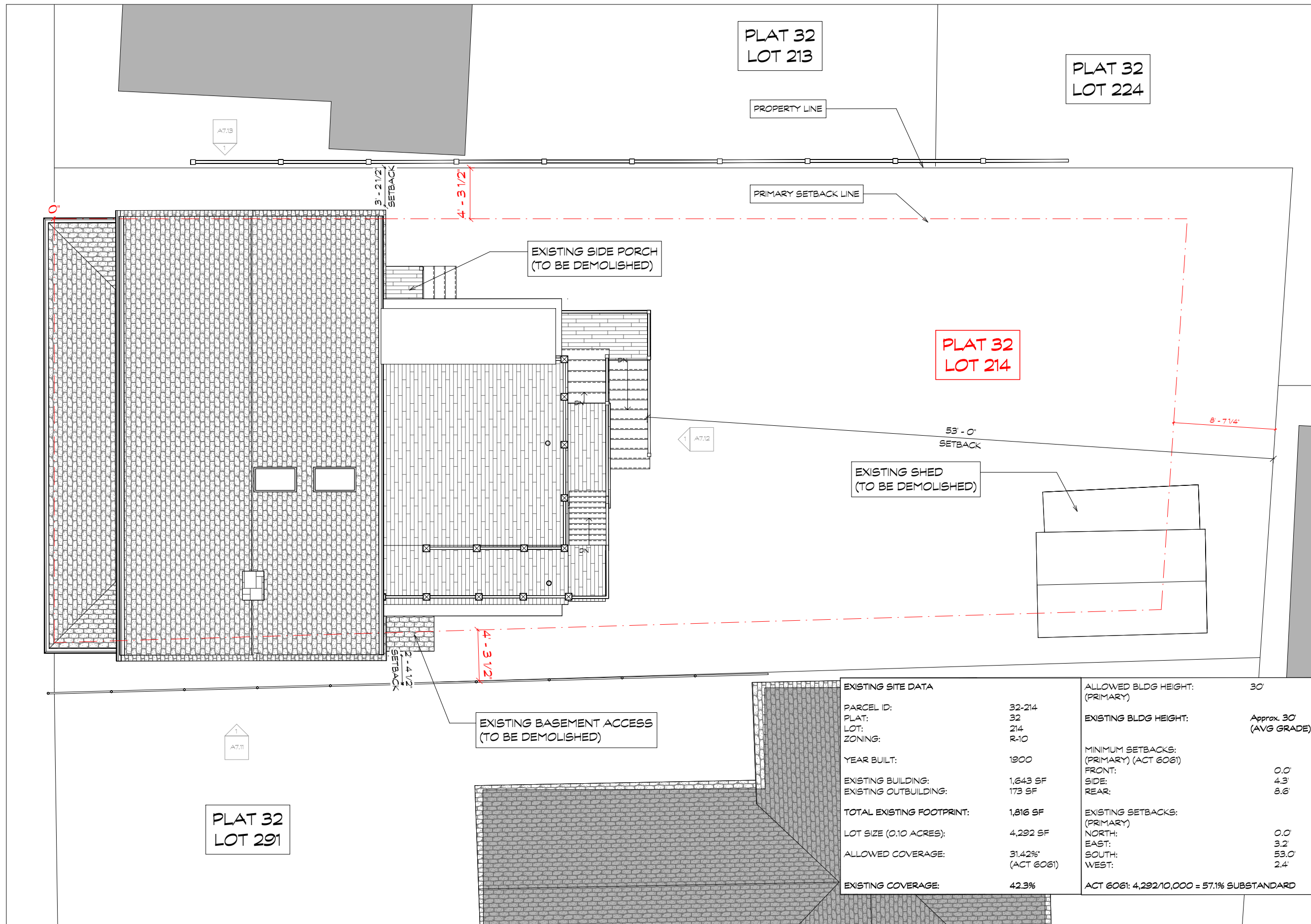
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SITE PLAN - EXISTING



EXISTING SITE DATA		ALLOWED BLDG HEIGHT: (PRIMARY)	
PARCEL ID:	32-214	ALLOWED BLDG HEIGHT: (PRIMARY)	30'
PLAT:	32	EXISTING BLDG HEIGHT:	Approx. 30' (AVG GRADE)
LOT:	214	MINIMUM SETBACKS: (PRIMARY) (ACT 6061)	
ZONING:	R-10	FRONT:	0.0'
YEAR BUILT:	1900	SIDE:	4.3'
EXISTING BUILDING:	1,643 SF	REAR:	8.6'
EXISTING OUTBUILDING:	173 SF	EXISTING SETBACKS: (PRIMARY)	
TOTAL EXISTING FOOTPRINT:	1,816 SF	NORTH:	0.0'
LOT SIZE (0.10 ACRES):	4,292 SF	EAST:	3.2'
ALLOWED COVERAGE:	31.42% (ACT 6061)	SOUTH:	53.0'
EXISTING COVERAGE:	42.3%	WEST:	2.4'
		ACT 6061: 4,292/10,000 = 57.1% SUBSTANDARD	



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Description:
SITE PLAN - EXISTING

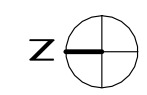
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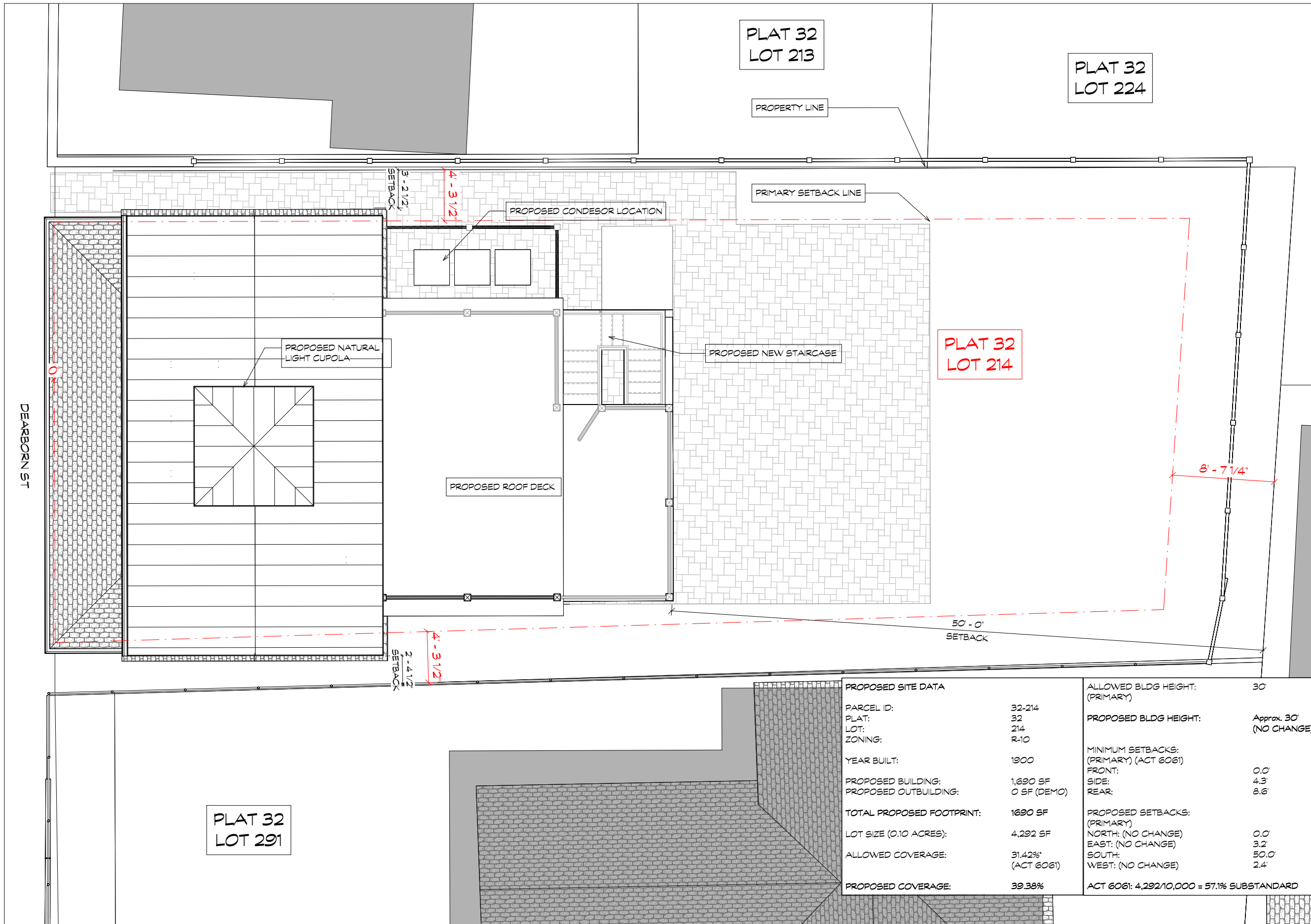
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SITE PLAN - PROPOSED



PROPOSED SITE DATA		ALLOWED BLDG HEIGHT: (PRIMARY)	30'
PARCEL ID:	32-214	PROPOSED BLDG HEIGHT:	Approx. 30' (NO CHANGE)
PLAT:	32	MINIMUM SETBACKS: (PRIMARY) (ACT 6061)	
LOT:	214	FRONT:	0.0'
ZONING:	R-10	SIDE:	4.3'
YEAR BUILT:	1900	REAR:	8.6'
PROPOSED BUILDING:	1,690 SF	PROPOSED SETBACKS: (PRIMARY)	
PROPOSED OUTBUILDING:	0 SF (DEMO)	NORTH: (NO CHANGE)	0.0'
TOTAL PROPOSED FOOTPRINT:	1690 SF	EAST: (NO CHANGE)	3.2'
LOT SIZE (0.10 ACRES):	4,292 SF	SOUTH:	50.0'
ALLOWED COVERAGE:	31.42% (ACT 6061)	WEST: (NO CHANGE)	2.4'
PROPOSED COVERAGE:	39.38%	ACT 6061: 4,292/10,000 = 57.1% SUBSTANDARD	



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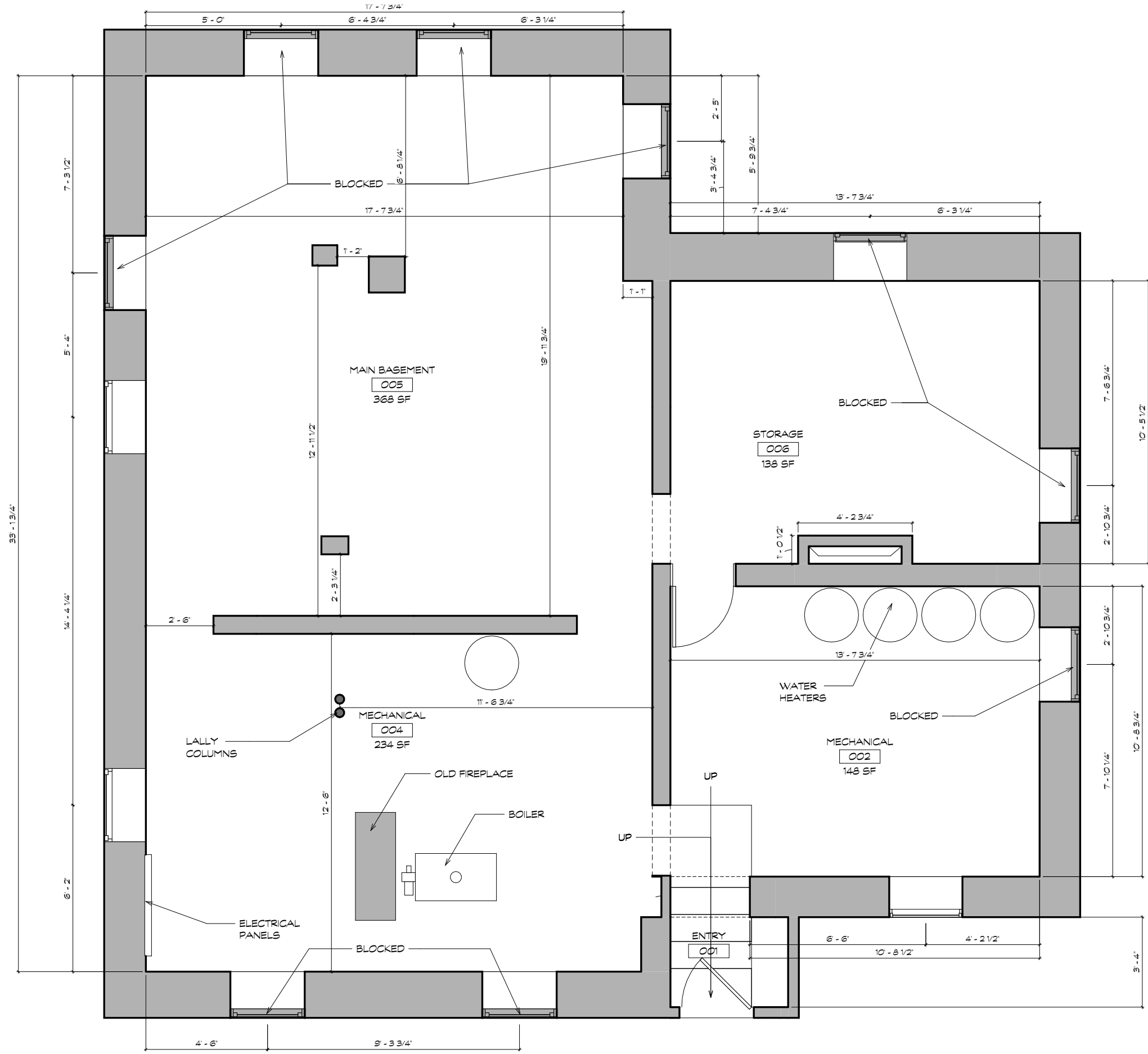
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FLOOR PLAN - LEVEL 00 - EXISTING / DEMO



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Description:
FLOOR PLAN -
LEVEL 00 -
EXISTING / DEMO

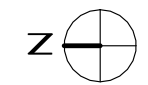
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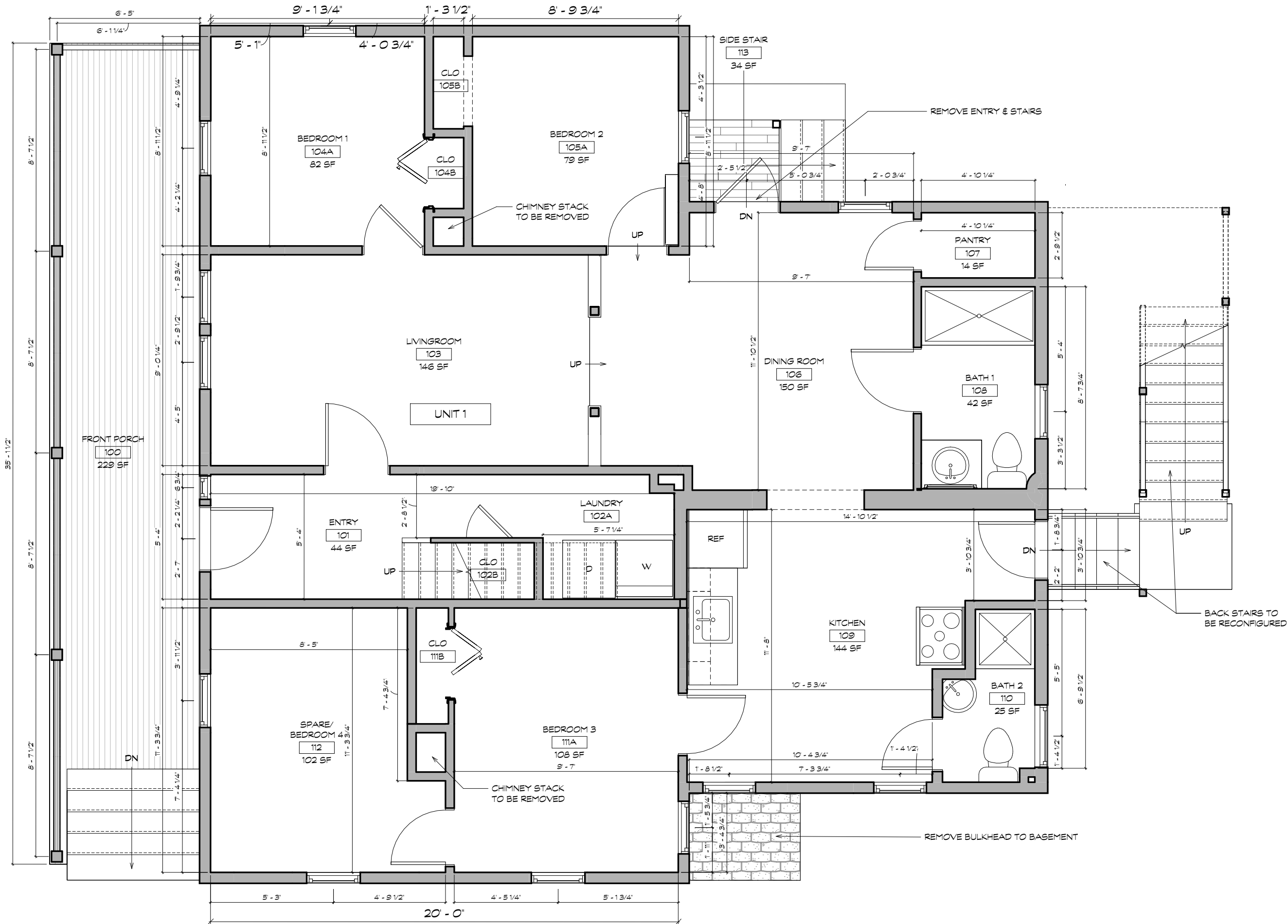
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1 FLOOR PLAN - BASEMENT - EXISTING
 A1.01 1/2" = 1'-0"



FLOOR PLAN - LEVEL 01 - EXISTING / DEMO



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Description:
FLOOR PLAN -
LEVEL 01 -
EXISTING / DEMO

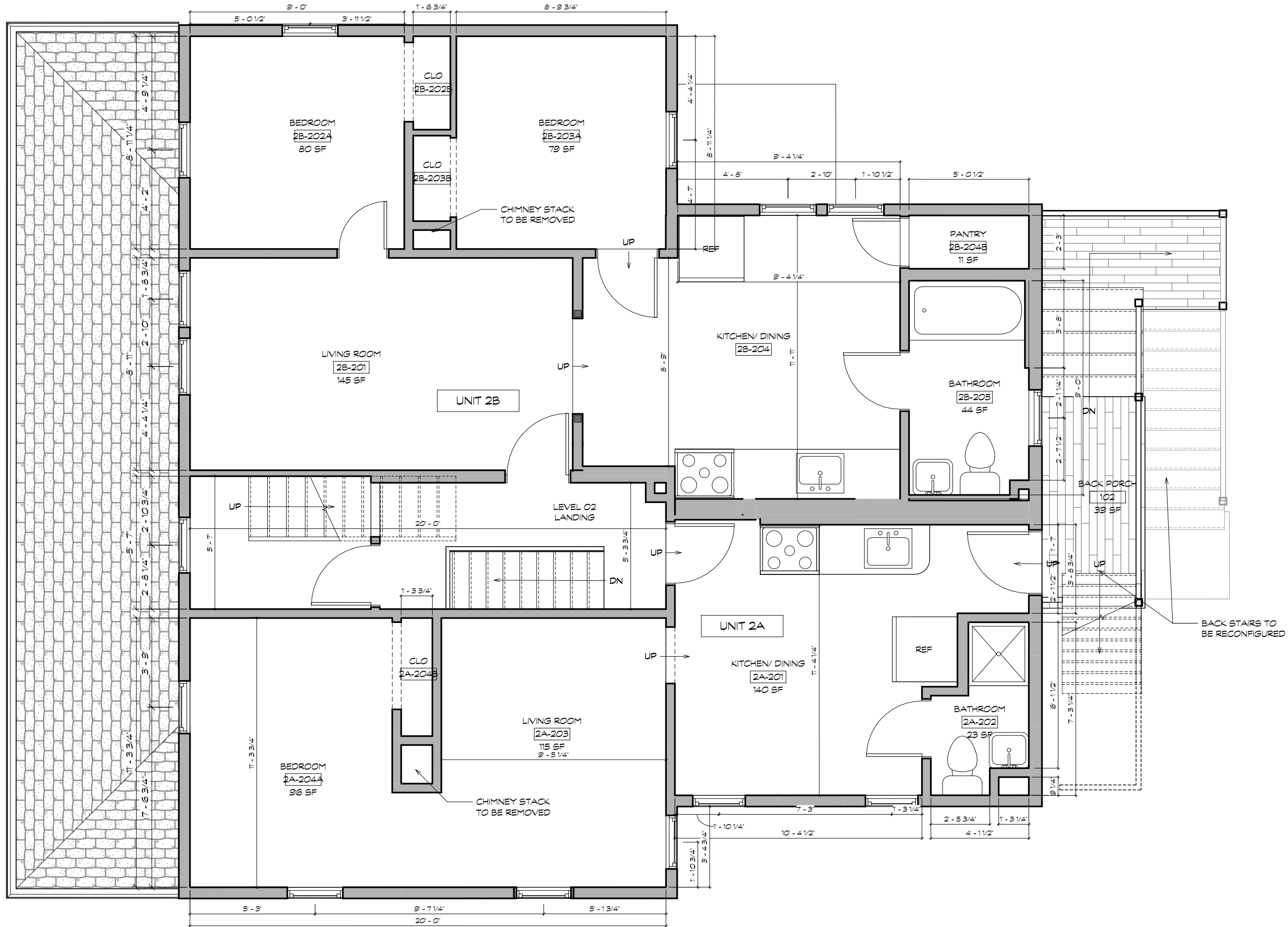
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FLOOR PLAN - LEVEL 02 - EXISTING / DEMO



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FLOOR PLAN -
LEVEL 02 -
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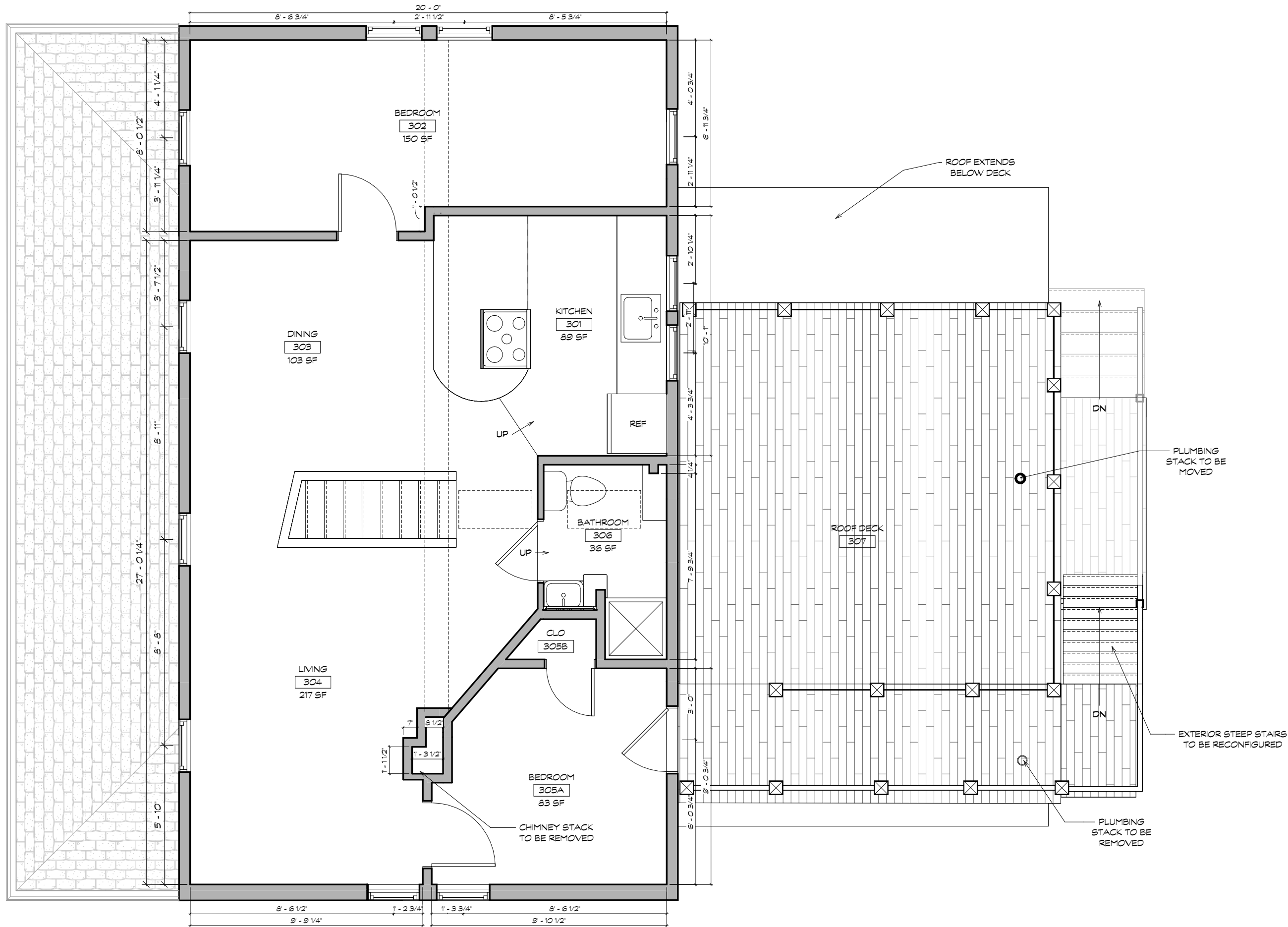
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FLOOR PLAN - LEVEL 03 - EXISTING / DEMO



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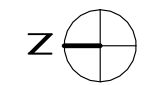
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FLOOR PLAN -
LEVEL 03 -
EXISTING / DEMO

Date Issued:
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 Scale:
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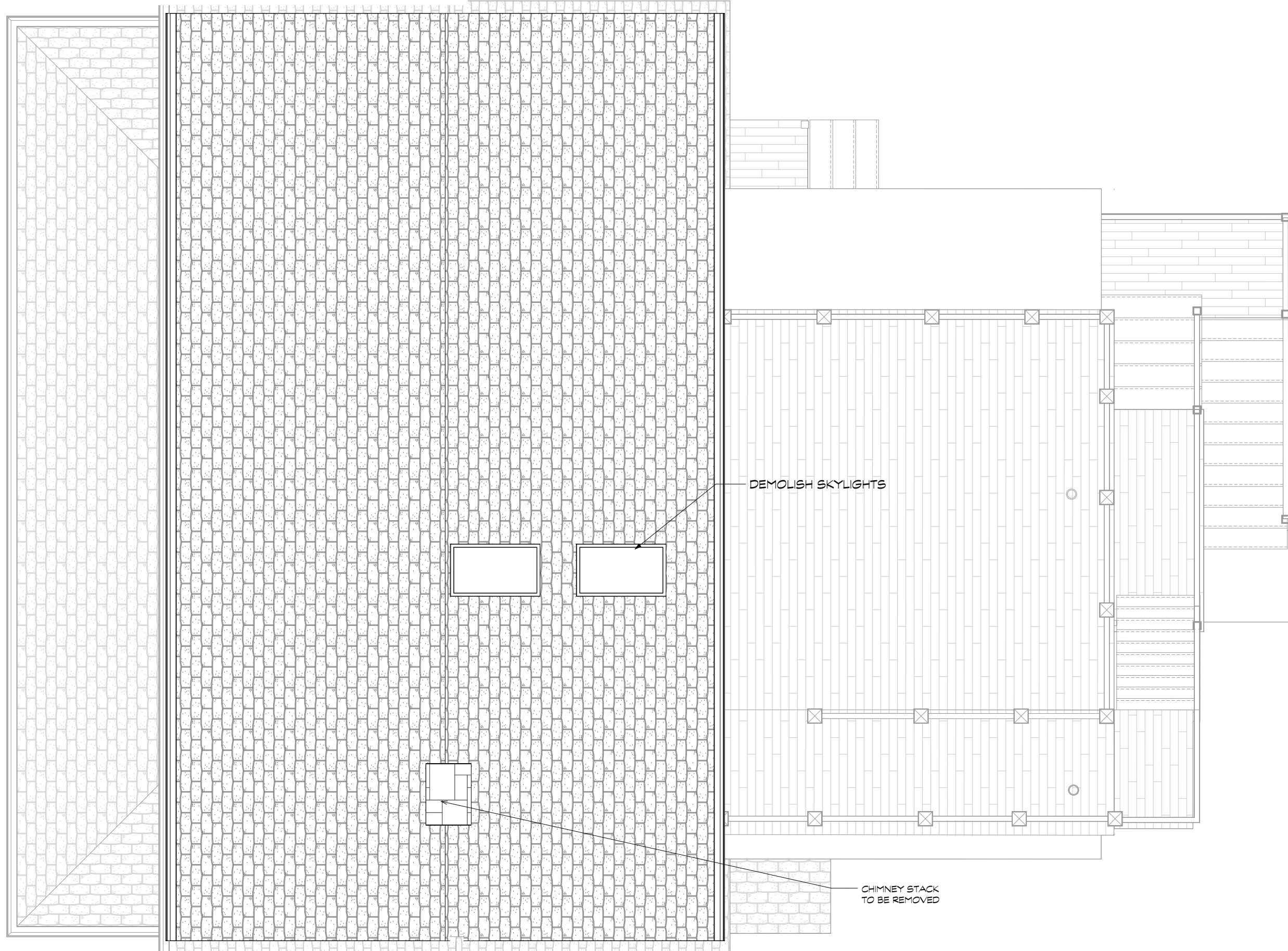
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FLOOR PLAN - ROOF - EXISTING / DEMO



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ROOF - EXISTING
/ DEMO

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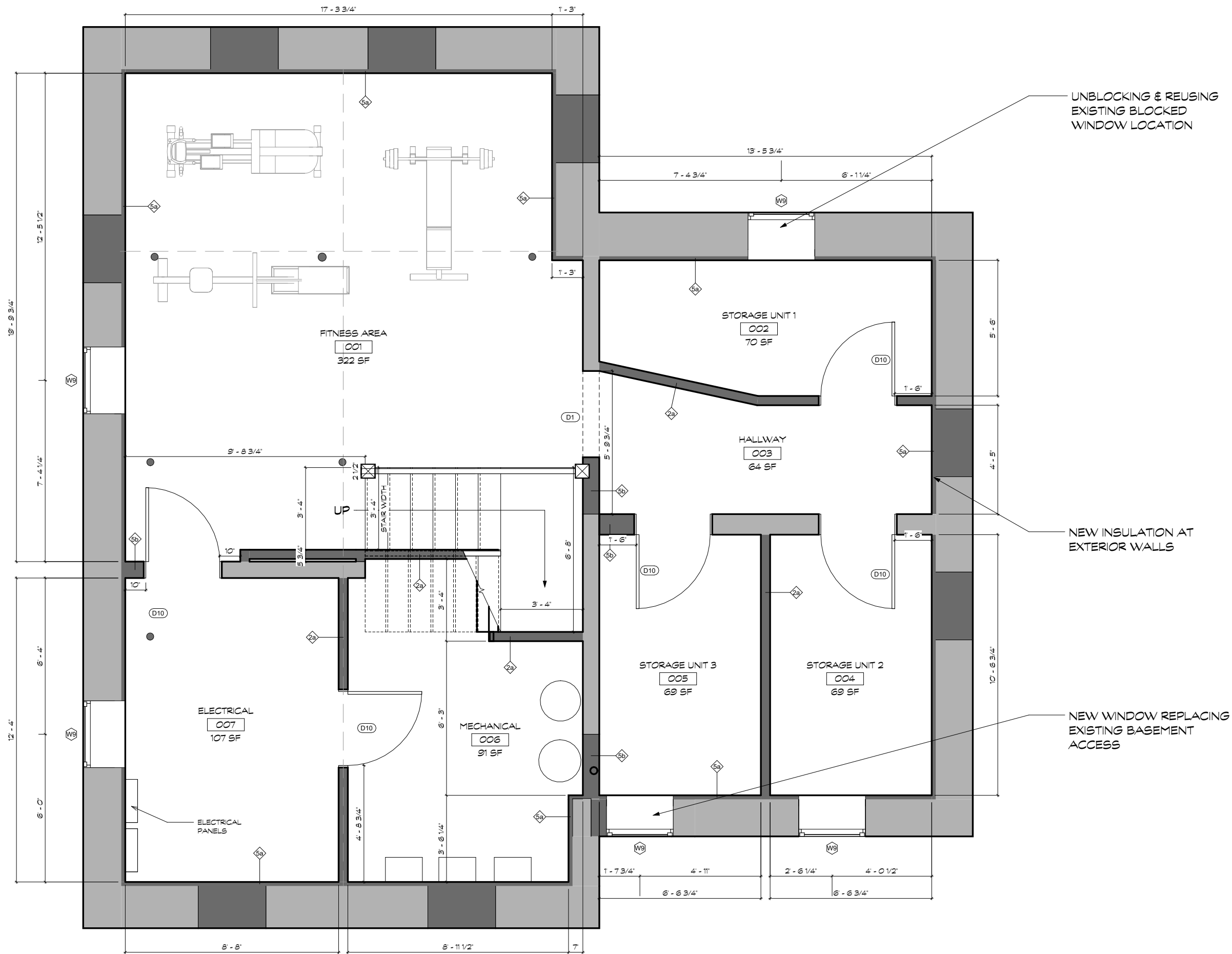
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FLOOR PLAN - LEVEL 00 - PROPOSED



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No.	Description	Date

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Description:
FLOOR PLAN - LEVEL 00 - PROPOSED

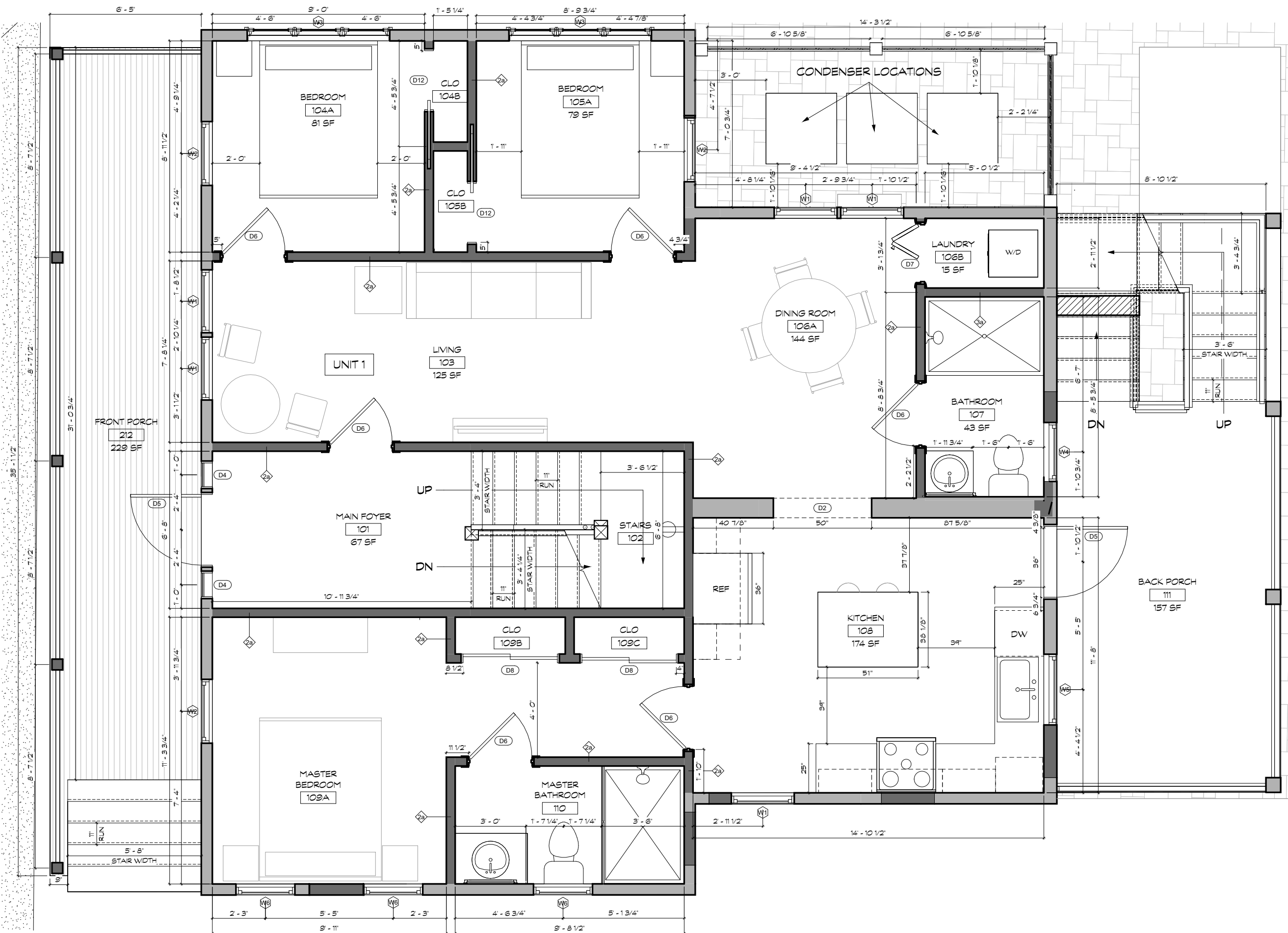
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FLOOR PLAN - LEVEL 01 - PROPOSED



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Revisions:

No.	Description	Date

Project Number: **24007**

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Description:
FLOOR PLAN -
LEVEL 01 -
PROPOSED

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A2.10

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1 FLOOR PLAN - LEVEL 01 - PROPOSED
 A2.10 1/2" = 1'-0"

FLOOR PLAN - LEVEL 02 - PROPOSED



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Description:
FLOOR PLAN -
LEVEL 02 -
PROPOSED

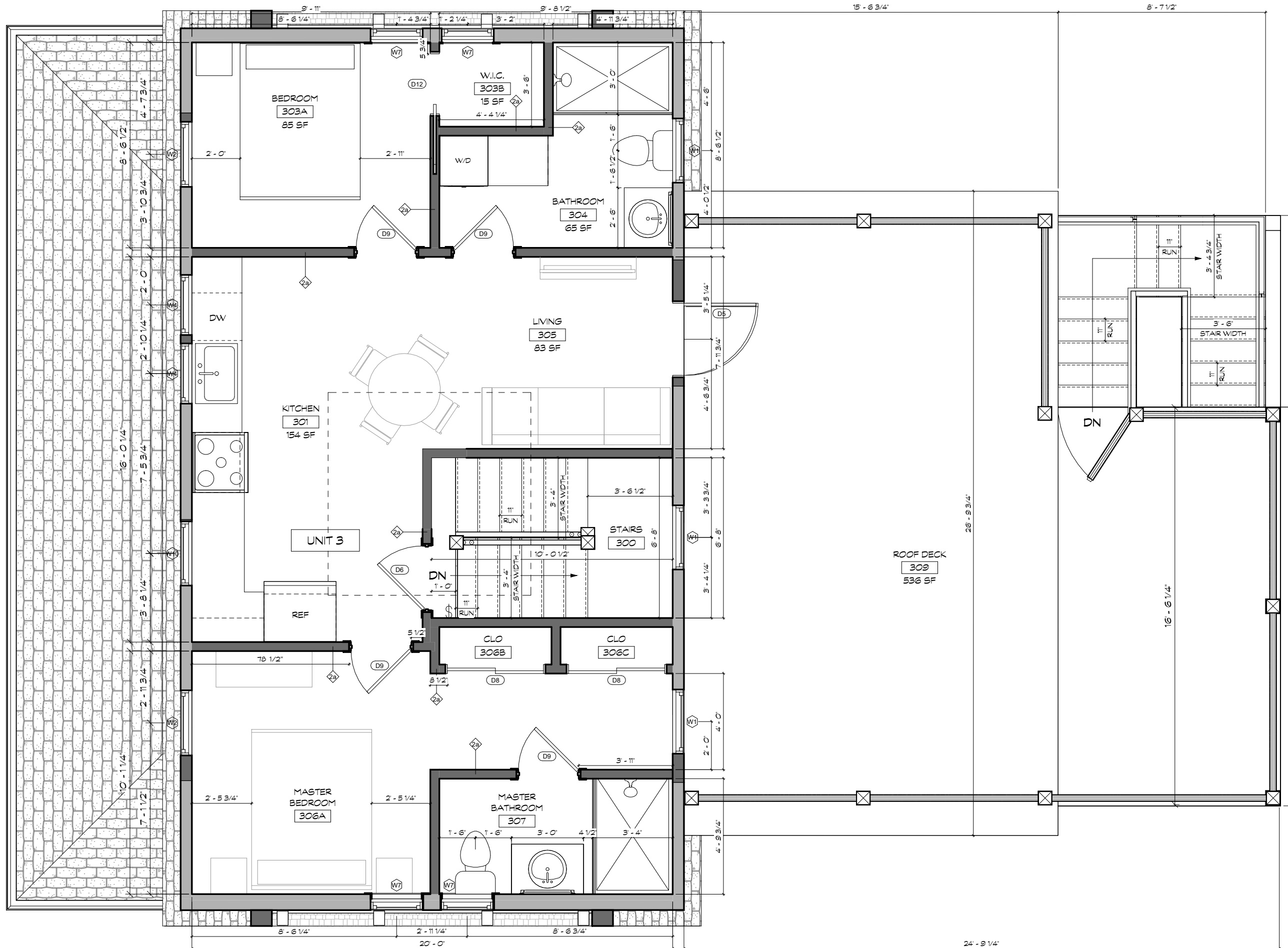
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FLOOR PLAN - LEVEL 03 - PROPOSED



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FLOOR PLAN -
LEVEL 03 -
PROPOSED

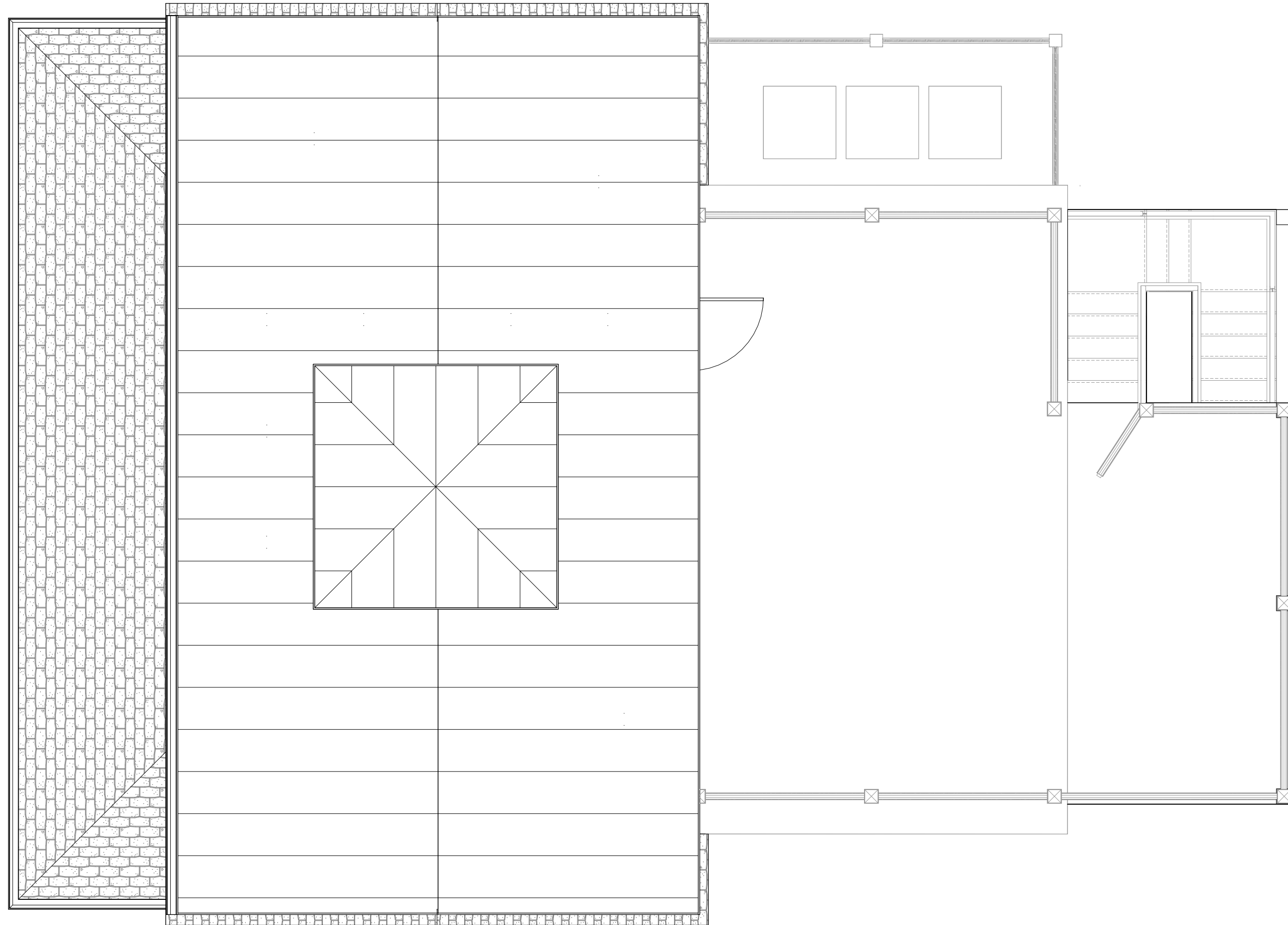
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A2.30

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FLOOR PLAN - ROOF - PROPOSED



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**FLOOR PLAN -
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1 ROOF PLAN - PROPOSED
A2.40 1/2" = 1'-0"



ELEVATION - NORTH - EXISTING



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A7.10



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1 ELEVATION - NORTH - EXISTING
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ELEVATION - WEST - EXISTING



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ELEVATION - SOUTH - EXISTING



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1 ELEVATION - SOUTH - EXISTING
 A7.12 1/2" = 1'-0"

ELEVATION - EAST - EXISTING



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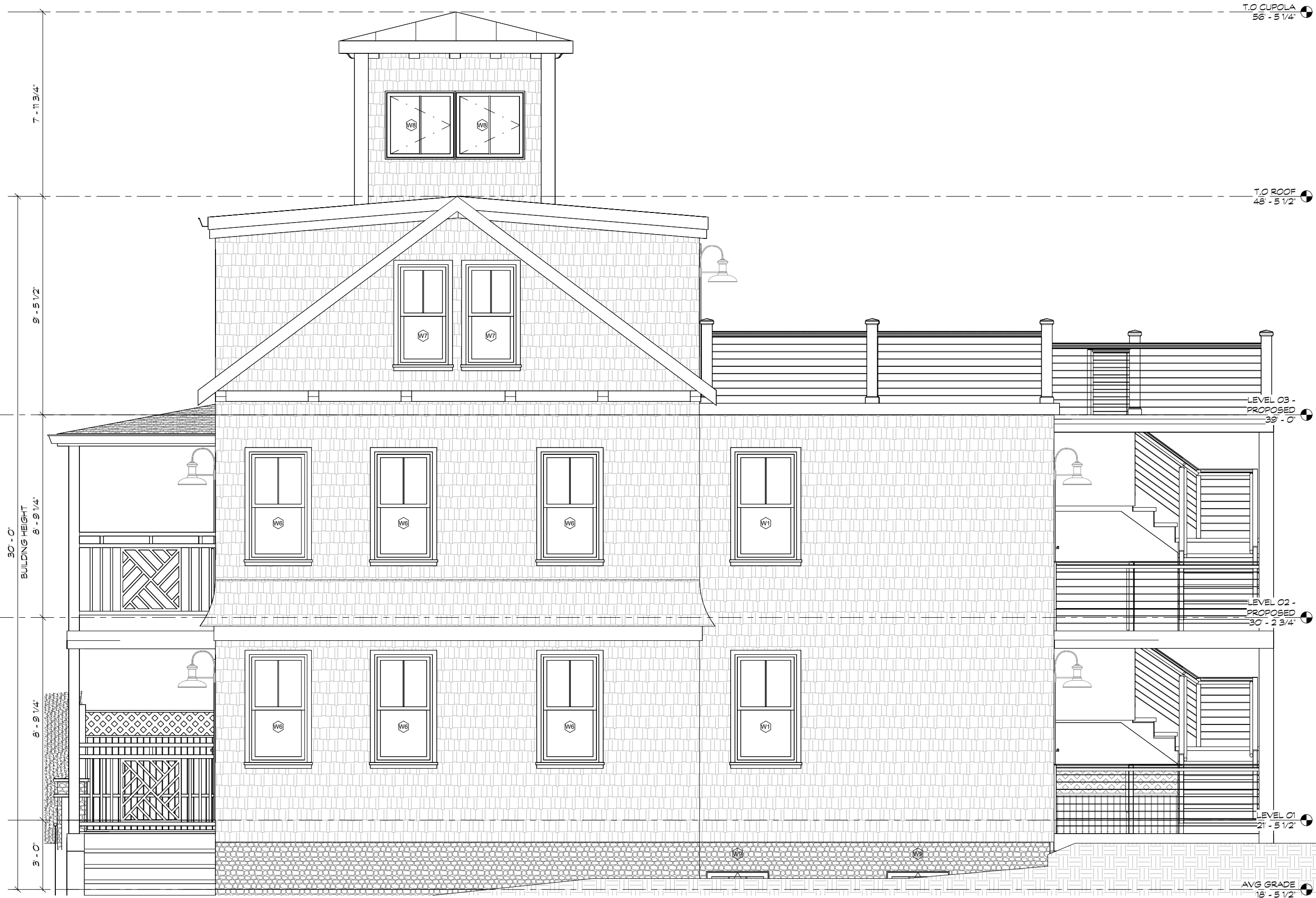
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ELEVATION - WEST - PROPOSED



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ELEVATION - SOUTH - PROPOSED



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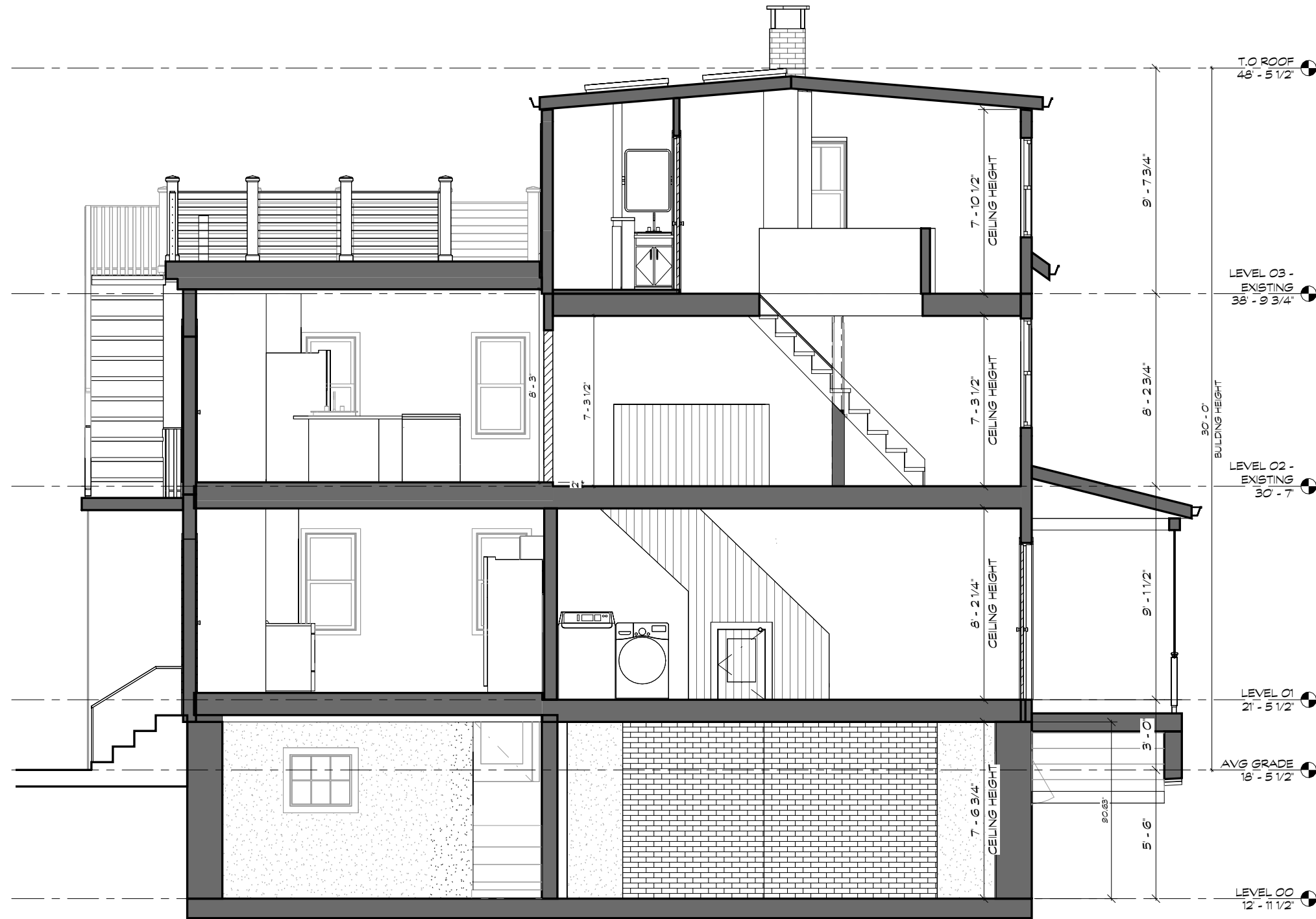
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LATITUDINAL SECTION - EXISTING



1 LATITUDINAL SECTION - EXISTING
 A9.11 3/8" = 1'-0"

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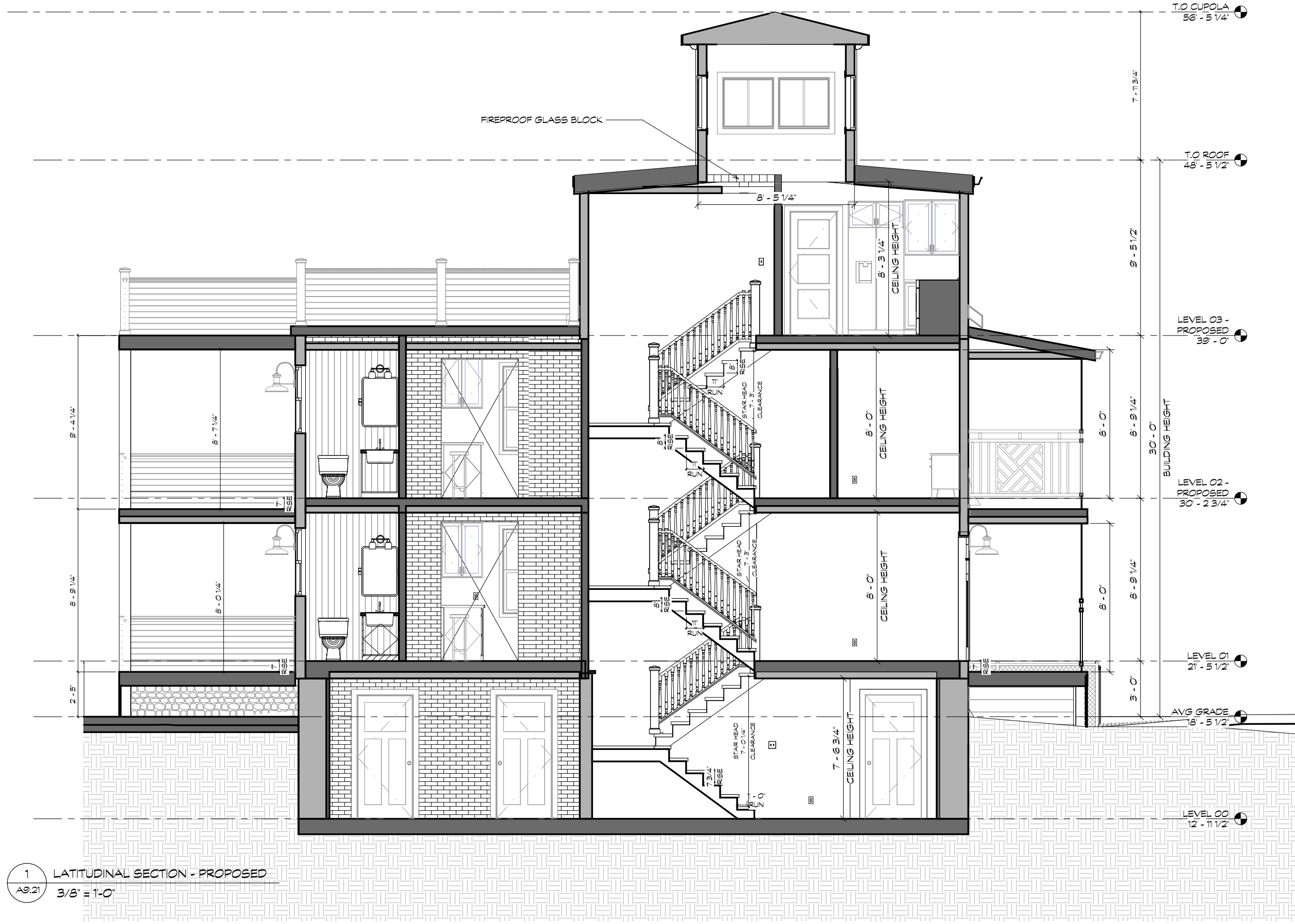
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