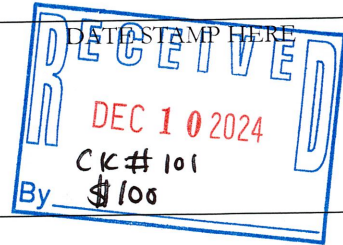




Newport Zoning Application

ZBR 2025 - JAN - 008

(This box for staff use only)



Date: 12/11/2024

Board members:

The undersigned hereby petitions the Zoning Board of Review for a special use permit or a variance in the application of the provisions or regulations of the Zoning Ordinance affecting the following described premises in the manner and on the grounds hereinafter set forth.

Location of Premises

Street & No: Gibbs Ave 55

Tax Assessor's Plat: 11 Lot: 080 Zoning District: R-10

Special Use Permit (Non-Conforming Alteration) Regulatory (Dimensional) Variance

Special Use Permit (New Use) Use Variance Modification

Property Owner: Garyn Whatmough Rachelle DiMedia

Mailing Address: 55 Gibbs Ave Newport

Email Address: GW2067@gmail.com

Phone Number: 401-644-7098

How long have you been the owner of the above premise? 2 months 10/15/24

Legally Authorized Representative *if applicable: _____

Mailing Address: _____

Email Address: _____ Phone Number: _____

Lessee: _____

Mailing Address: _____

Email Address: _____ Phone Number: _____



Newport Zoning Application

Property Characteristics

Dimensions of lot-frontage: 45.3' ft. Lot Area: 5568.57 sq. ft.

Are there buildings on the premises at present? yes 2

Total square footage of the footprint of existing buildings: 1782 sq. ft.

Total square footage of the footprint of proposed buildings: 1942 sq. ft.

Zoning Characteristics Matrix

	Existing	Required/Allowed	Proposed
Lot Size (sq. ft.)	5568.57	10,000	5568.57
Coverage Area (sq. ft)	1782	1603	1942
Lot Coverage (%)	32%	28.8	34.87%
Dwelling Units	2	2	No Change
Parking (# of spaces)	9	4	9
Front Setback (ft.)	97'	0'	97'
Side Setbacks (ft.)	Left 5' Right 10'	3'	Left 4' Right 3'
Rear Setback (ft.)	5'	5'	5'
Height (ft.)	12'	26'	26'



Newport Zoning Application

All of the following information and questions must be filled in and answered completely.

Present use of Premise: Duplex Dwelling w/3 stall garage

Proposed use of Premise: Duplex Dwelling w/garage w/Bath GYM office

Summary of Proposed Alterations

Applicant Statement

To: Zoning Board of Newport, RI
Subject: Request for Lot Coverage Adjustments, Summary of Proposed Alterations – 55 Gibbs Avenue

Dear Members of the Zoning Board,

During our inspection of the garage, we discovered that the existing structure does not have the proper footings to support a second floor. We propose to:

- Demo the existing building down to a concrete slab
- Install new footings and foundation per code
- Build a new 2-story structure, including a 1st-floor garage
- The 2nd-floor will be used as office and gym space with a bathroom

Kind regards,

Rachelle Dimedia
Garyn Whatmough



Newport Zoning Application

Applicant Statement

How does your application meet the required standards for variance(s) or special use permit(s)?
(See page 6 for most common applicable standards)

Applicant Statement

To: Zoning Board of Newport, RI
Subject: Request for Lot Coverage Adjustment – 55 Gibbs Avenue

Dear Members of the Zoning Board,

We are the new owners of 55 Gibbs Avenue and are seeking approval to increase the lot coverage of the property from 32% to 34%. Our intention is to construct an addition above the existing garage to serve as a combined office and gym space, including a bathroom.

As the property is non-conforming to current zoning standards, this adjustment is necessary to accommodate a staircase and a small deck, which are required for safe access to and from the proposed second-floor space. Unfortunately, there is no viable way to integrate these elements within the existing footprint. The hardship posed by the non-conformity limits our ability to fully utilize the space for our needs, which brings us to this request. We kindly ask for your understanding and approval to proceed with the proposed changes.

Thank you for your time and consideration of our application. Please let us know if additional information or documentation is needed.

Kind regards,

Rachelle Dimedia
Garyn Whatmough



Newport Zoning Application

Upon submittal of this application, please make sure you have also reviewed our Zoning Application Submittal Requirements packet, and included with your application, a copy of the Submittal Checklist which can also be found here: [Zoning Application Submittal Requirements](#). If an application is missing any submittal requirements and/or necessary application information, your application may be regarded incomplete. Incomplete applications will not be publicly advertised or appear on an agenda until the project is deemed complete.

By signing below, I hereby attest that the information provided is accurate and truthful. I also attest that I have read through this application thoroughly and understand what is required to submit a completed application.

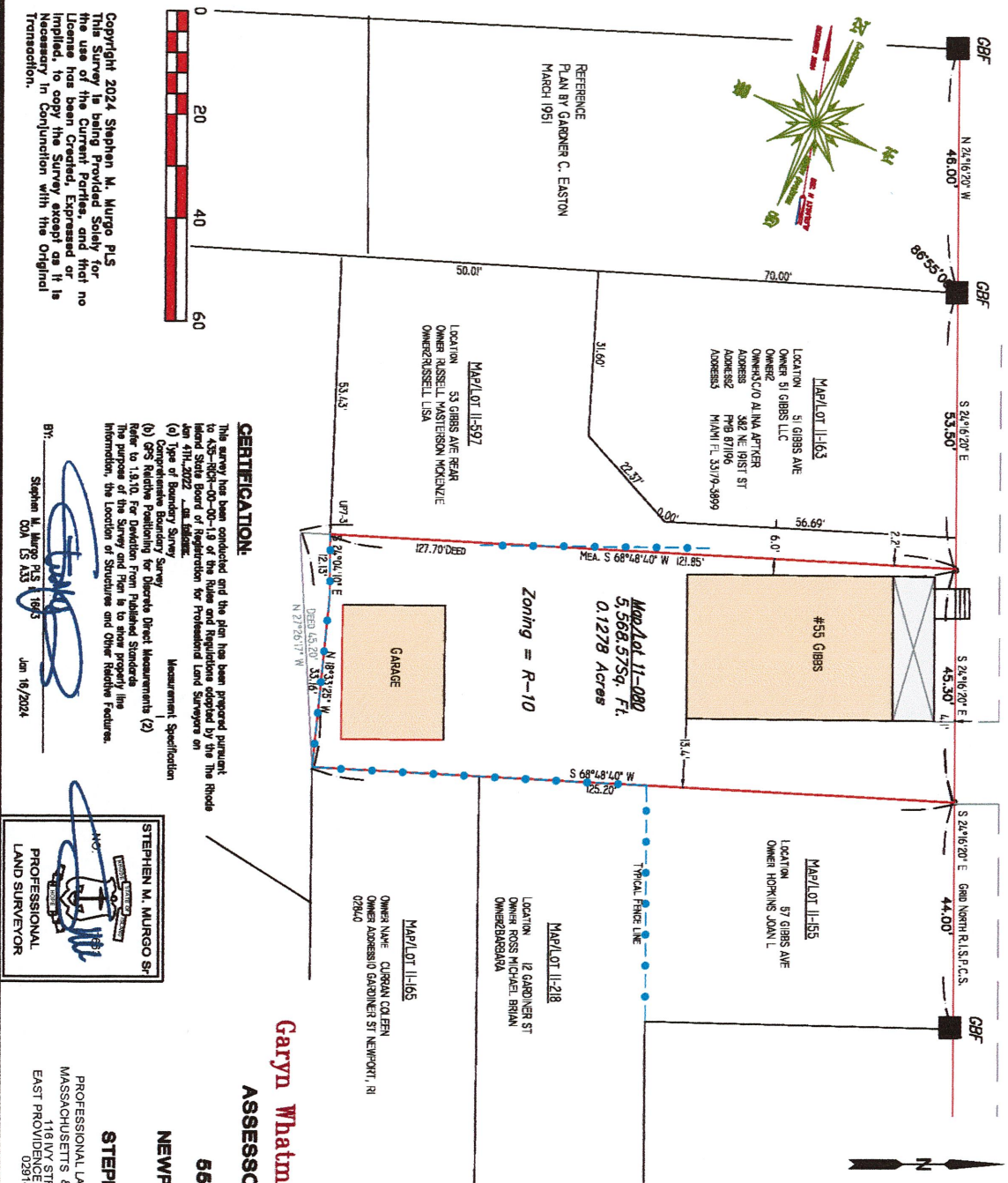
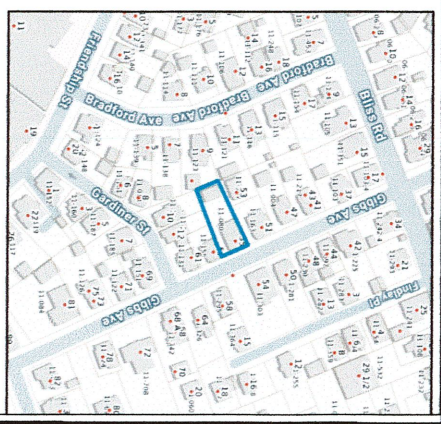

Applicant Signature

12/11/2024
Date


Owner Signature

12/11/2024
Date

Gibbs Avenue



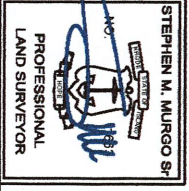
LEGEND
 (SHADES MAY BE FOUND ON PLAN)

○	ROW ROD ROUND	○	WATER
○	ROW ROD SET	○	ONS
△	MONUMENT TO BE SET	○	MARKER
△	FW WALK ROUND	○	EXISTING FEE MONUMENT
△	FENCE POST	○	CATCH BASIN DOUBLE
△	MONUMENT ROUND	○	SEWER
△	FENCE LINE	○	UTILITY POLE
△	DRILL HOLE ROUND	○	TRV ASSESSOR
△	SPOT GRAVE	○	DRILL HOLE SET
△	SMOKE POINT	○	EXISTING WATER WALK
△	FWB	○	EXISTING GAS WALK
△	○ 1/2 ROW FEE ROUND	○	EXISTING CATCH BASIN

Garyn Whatmough & Rachelle DiMedia
 ASSESSOR'S PLAT 11, LOT 080

CERTIFICATION:
 This survey has been conducted and the plat has been prepared pursuant to AS-901-00-00-1.9 of the Rules and Regulations adopted by the Rhode Island State Board of Registration for Professional Land Surveyors on Jan 4th, 2022, as amended.
 (a) Type of boundary survey: Measurement Specification
 (b) GPS Method Positioning for Distance Direct Measurements (2)
 Refer to 1.8.10. For Deviation From Published Standards.
 The purpose of the Survey and Plat is to show property line information, the location of structures and other field features.

BY:
 Stephen M. Murgo PLS 1965
 DCA IS 533
 Jan 16/2024

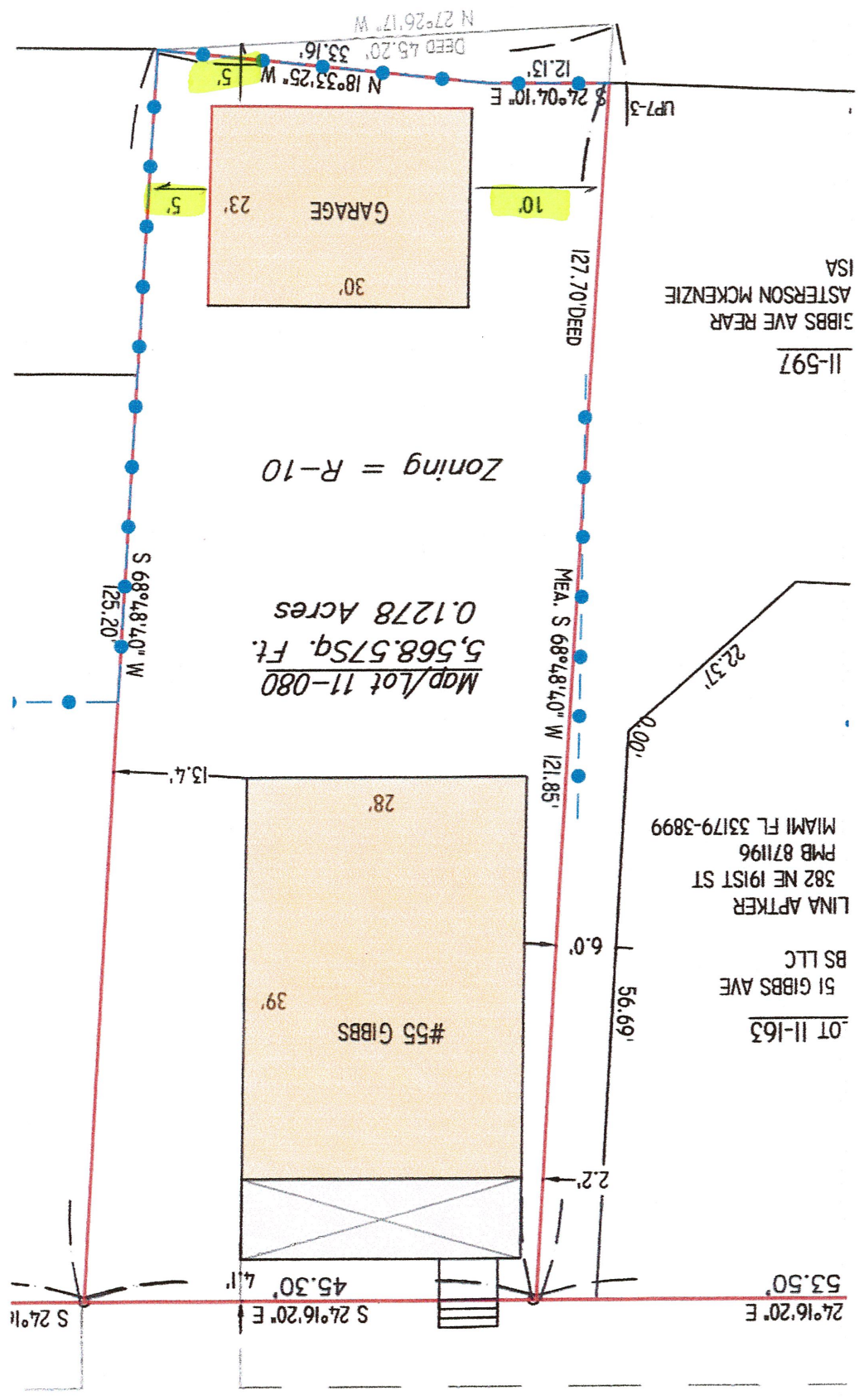


PREPARED BY
STEPHEN M. MURGO SR.
 PROFESSIONAL LAND SURVEYOR
 MASSACHUSETTS & RHODE ISLAND
 118 IVY STREET
 EAST PROVIDENCE, RHODE ISLAND 02914
 401-253-0092
 [cell & text]
 SMSURVEY@COX.NET

Copyright 2024 Stephen M. Murgo PLS
 This Survey is being Provided Solely for the use of the Current Parties, and that no License has been Created, Expressed or Implied, to copy the Survey except as it is Necessary in Conjunction with the Original Transaction.

Existing Setbacks

Gibbs Avenue



Zoning = R-10

Map/Lot 11-080
5,568.57sq. Ft.
0.1278 Acres

11-597
31BBS AVE REAR
ASTERSON MCKENZIE
ISA

OT 11-163
51 GIBBS AVE
BS LLC
LINA APTKER
382 NE 191ST ST
PMB 871196
MIAMI FL 33179-3899

24°16'20" E
53.50'

S 24°16'20" E
45.30' 4.1'

MEAS. S 68°48'40" W 121.85'

S 68°48'40" W
125.20'

127.70' DEED

24°04'10" E
12.13'

N 18°33'25" W
33.16'

N 27°26'17" W

DEED 45.20' 33.16'

UP7-3

22.37'

0.00'

56.69'

6.0'

2.2'

#55 GIBBS

28'

39'

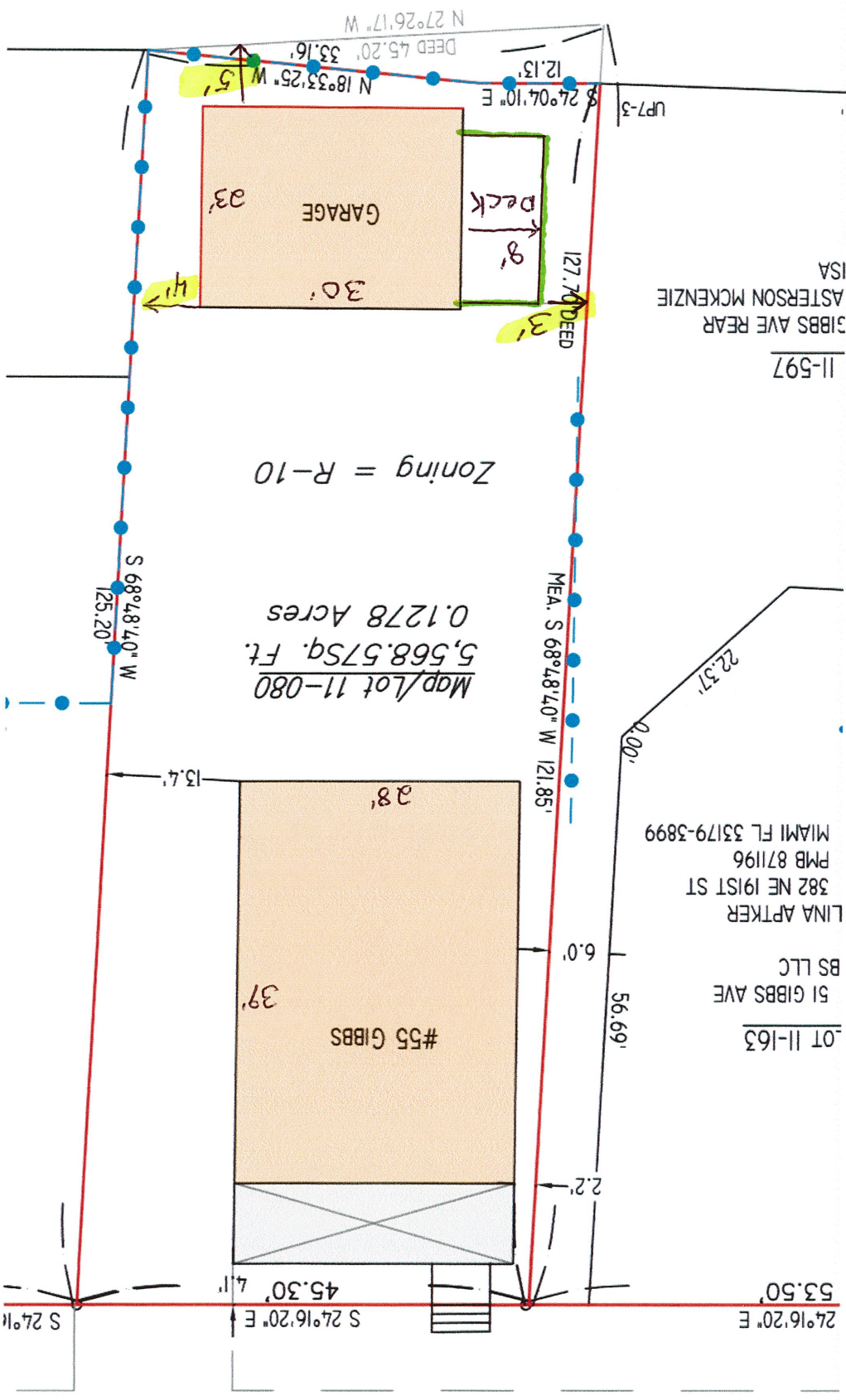
13.4'

125.20'

S 68°48'40" W

S 24°16'





11-597
 31BBS AVE REAR
 ASTERSON MCKENZIE
 ISA

LOT 11-163
 51 GIBBS AVE
 BS LLC
 LINA APTKER
 382 NE 191ST ST
 PMB 871196
 MIAMI FL 33179-3899

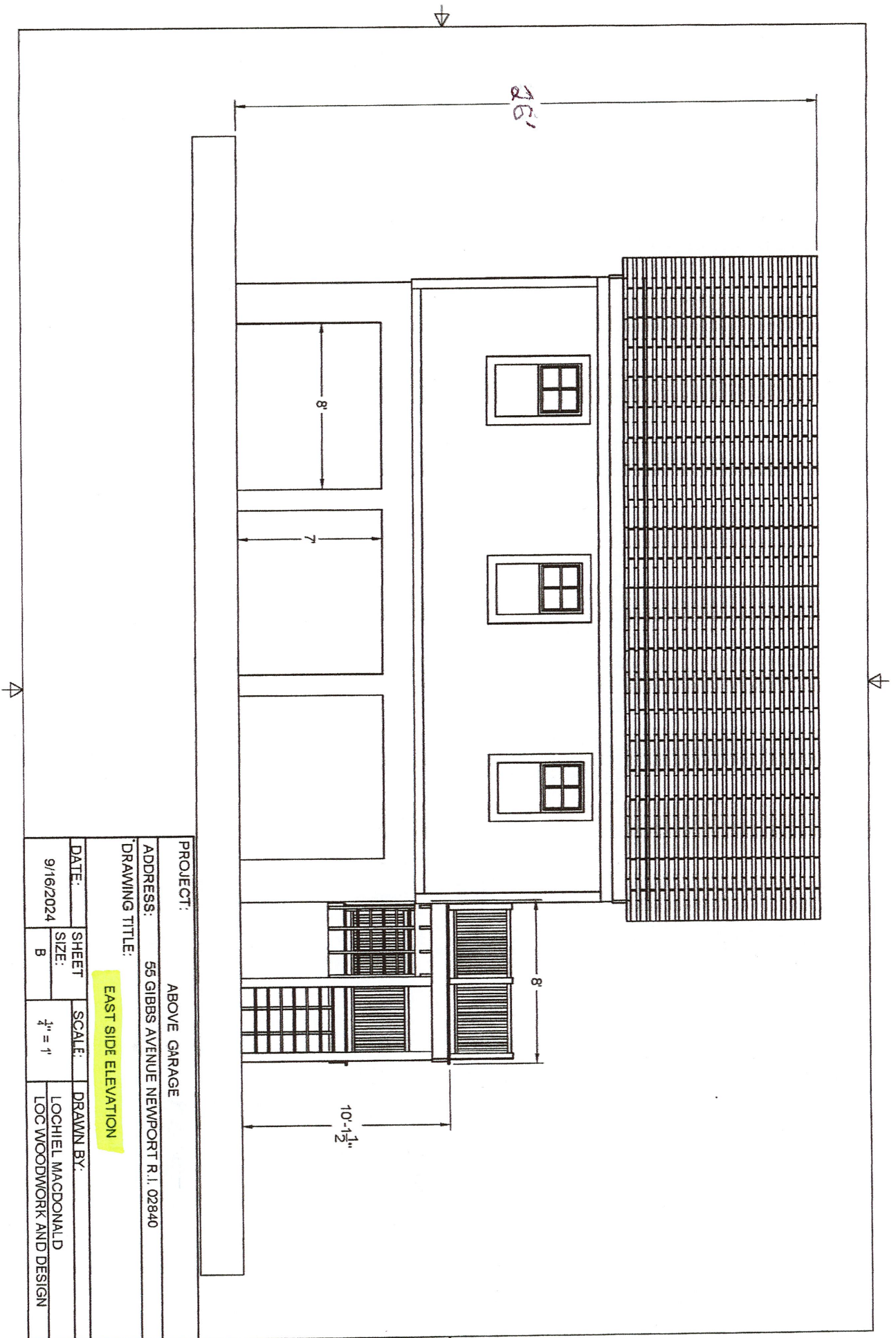
Map/Lot 11-080
 5,568.57sq. Ft.
 0.1278 Acres
 Zoning = R-10

Gibbs Avenue

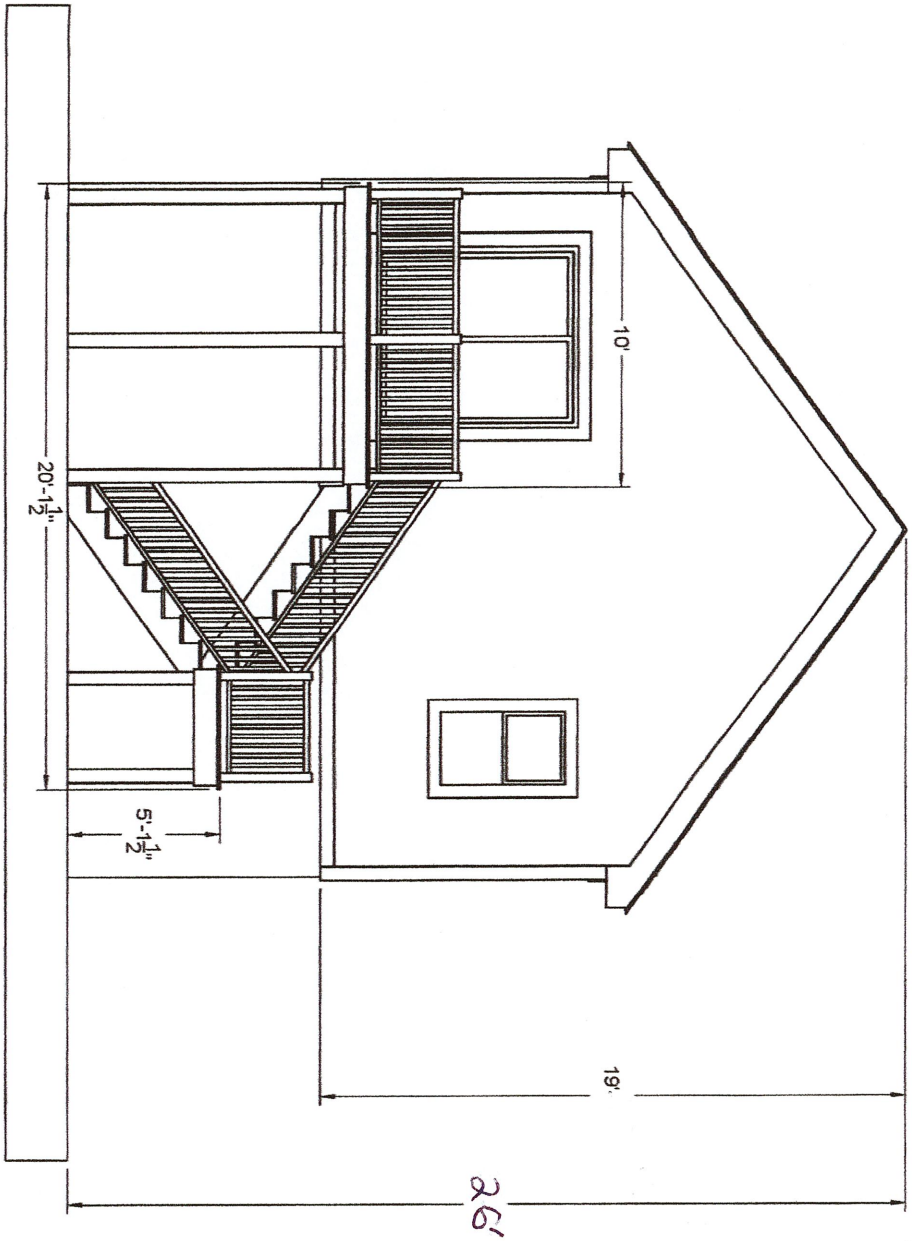
Proposed Setbacks

Existing Garage



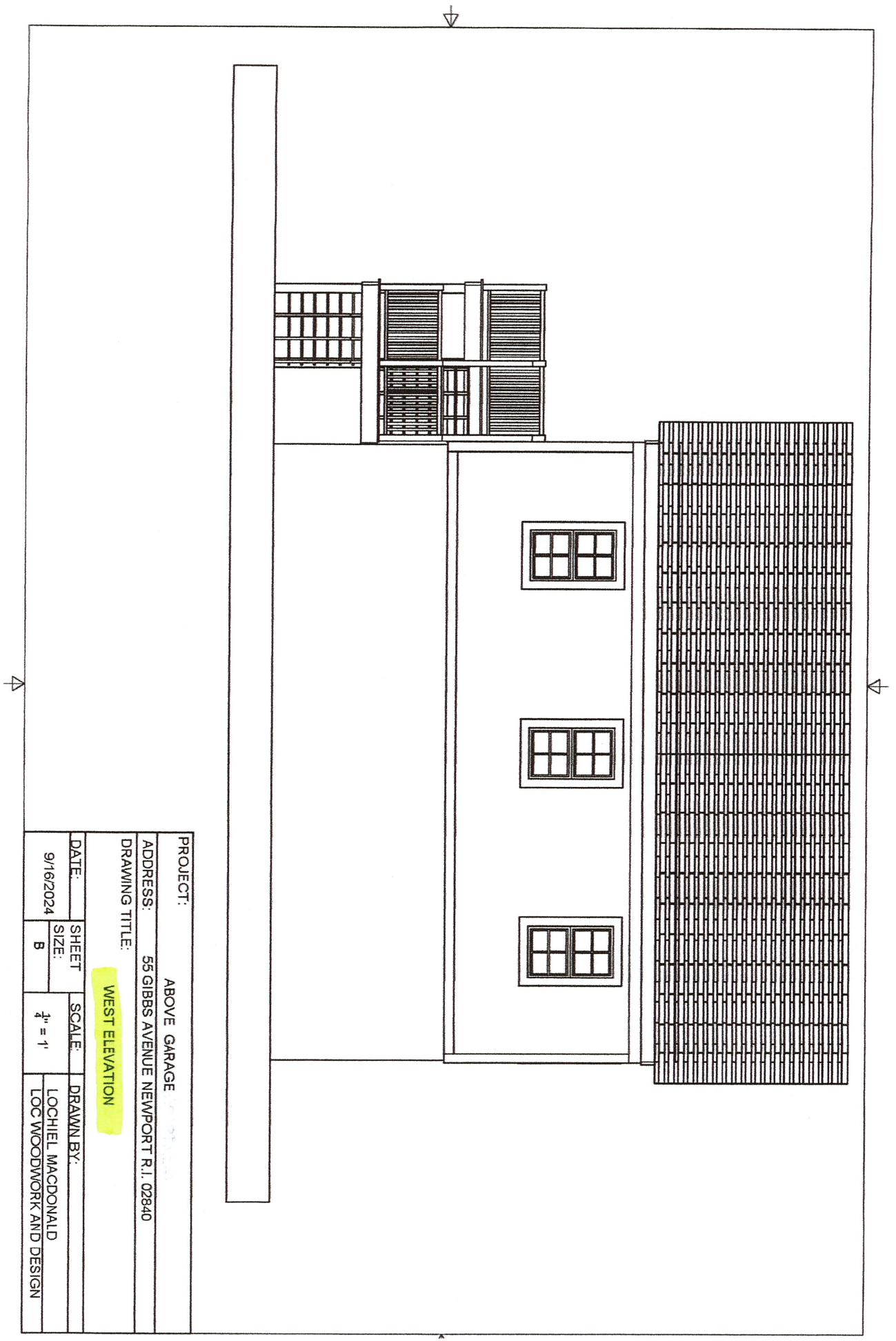


PROJECT:				ABOVE GARAGE	
ADDRESS:				55 GIBBS AVENUE NEWPORT R.I. 02840	
DRAWING TITLE:				EAST SIDE ELEVATION	
DATE:	SHEET	SCALE:	DRAWN BY:		
9/16/2024	B	1/4" = 1'	LOCHIEL MACDONALD LOC WOODWORK AND DESIGN		

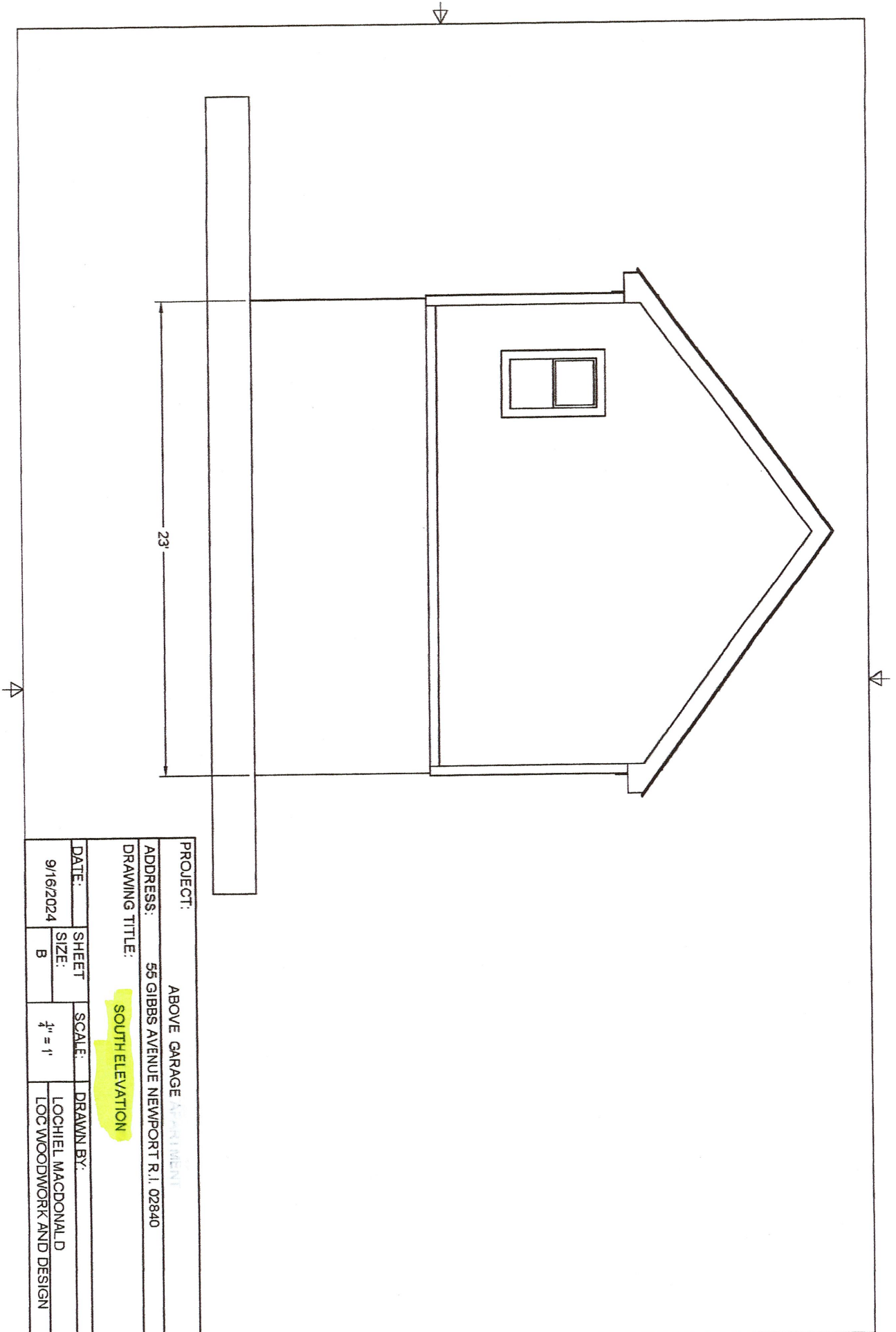


NORTH SIDE ELEVATION

PROJECT:				ABOVE GARAGE	
ADDRESS:				55 GIBBS AVENUE NEWPORT R.I. 02840	
DRAWING TITLE:				NORTH ELEVATION	
DATE:	SHEET	SCALE:	DRAWN BY:		
9/16/2024	SIZE:	$\frac{1}{4}" = 1'$	LOCHIELL MACDONALD		
			LOC WOODWORK AND DESIGN		



PROJECT:				ABOVE GARAGE	
ADDRESS:				55 GIBBS AVENUE NEWPORT R.I. 02840	
DRAWING TITLE:				WEST ELEVATION	
DATE:	SHEET	SCALE:	DRAWN BY:		
9/16/2024	SIZE:	$\frac{1}{4}'' = 1'$	LOCHIEL MACDONALD		
	B		LOC WOODWORK AND DESIGN		



PROJECT:

ABOVE GARAGE ATTACHMENT

ADDRESS: 55 GIBBS AVENUE NEWPORT R.I. 02840

DRAWING TITLE:

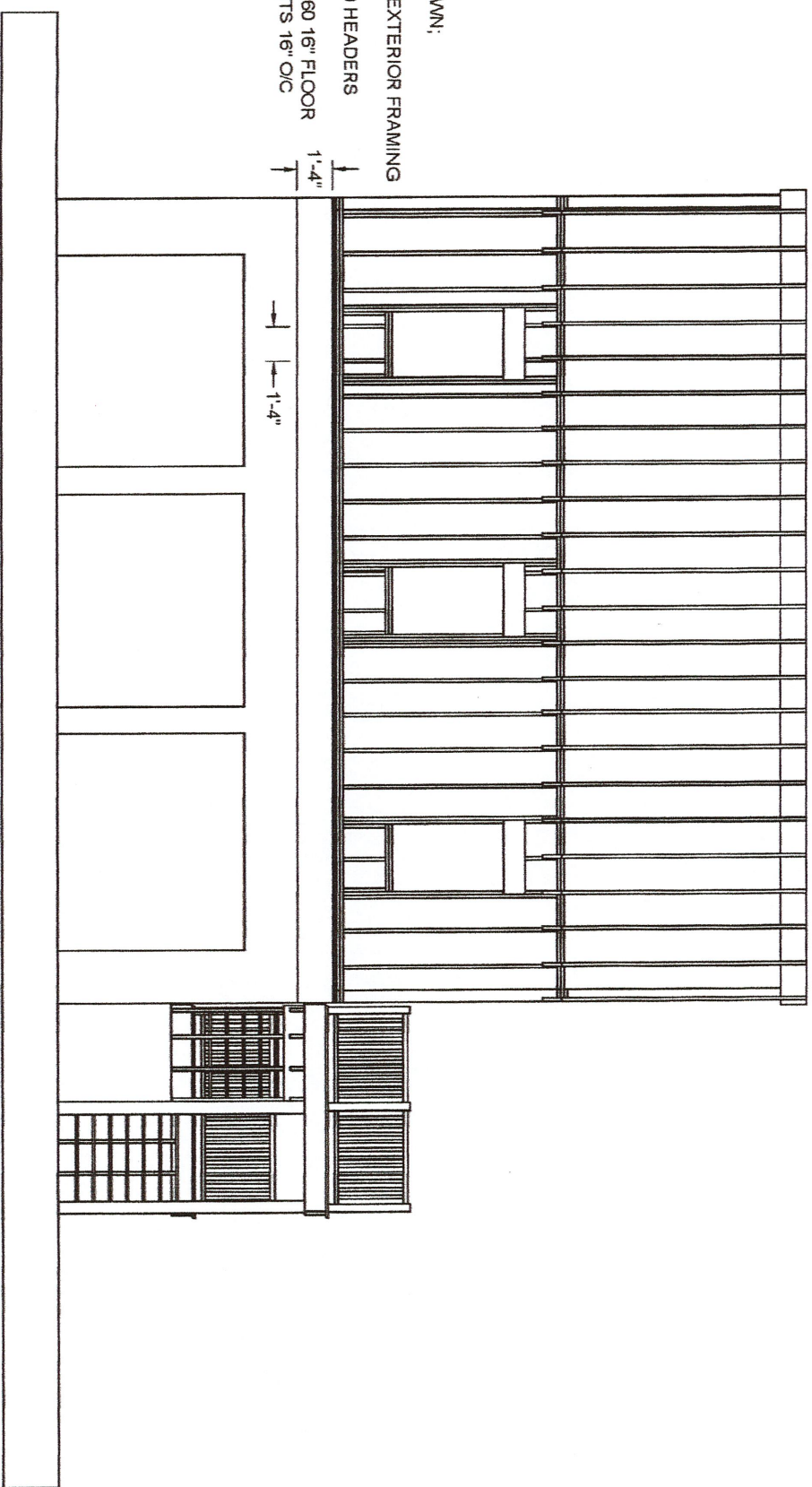
SOUTH ELEVATION

DATE:	SHEET	SCALE:	DRAWN BY:
9/16/2024	SIZE: B	1/4" = 1'	LOCHIEL MACDONALD LOC WOODWORK AND DESIGN

SHOWN:
 2X6 EXTERIOR FRAMING
 2X10 HEADERS
 TJI 560 16" FLOOR
 JOISTS 16" O/C

1'-4"

1'-4"



PROJECT:		ABOVE GARAGE APARTMENT	
ADDRESS:		55 GIBBS AVENUE NEWPORT R.I. 02840	
DRAWING TITLE:		FRONT CONSTRUCTION DETAIL	
DATE:	SHEET	SCALE:	DRAWN BY:
9/16/2024	SIZE:	1/4" = 1'	LOCHIEL MACDONALD
	B		LOG WOODWORK AND DESIGN



Framing
Specs

rs®
ce

APP REVIEW

Thank you for selecting

The enclosed drawings represent our understanding of your plans and needs consistent with the scope of our proposal and/or written contract. Naturally, plan ambiguities, revisions, and "as built" site conditions can change these needs without our knowledge. Therefore we request that you, along with your architect, engineer or building designer, review these documents and carefully verify: dimensions, loads, bearing locations, member spacing, consistency with overall design intent, conflicts with plumbing and mechanicals, and any other conditions noted.

Construction should not begin until this information has been reviewed and approved as accurate.

The builder should understand all the relevant installation requirements in these documents and in the manufacturer's product literature.

After review, please initial each of the attached plans and/or calculations and check the appropriate box below and sign in the space provided. In lieu of this form, the Architect or Engineer may use their standard shop drawing review stamp on each sheet. For projects with a structural engineer, the review MUST be performed by that structural engineer or duly authorized representative.

- Provide Precision End Trim (PET) joist material (No Extra Charge)
- Provide Precision End Trim +3" (PET +3) joist material (No Extra Charge)
- Nominal lengths – cut closest to foot on ljoists.

<input type="checkbox"/> Approved As Submitted	<input type="checkbox"/> Approved As Noted
Bv: _____	Title: _____
Company: _____	Date: _____

Company: GARYN WHATMOUGH

Project: 55 GIBBS AVE, NEWPORT RI

Task: EWP APPROVALS

Submission Date: 9/24/2024

Job Number: AW #4241183

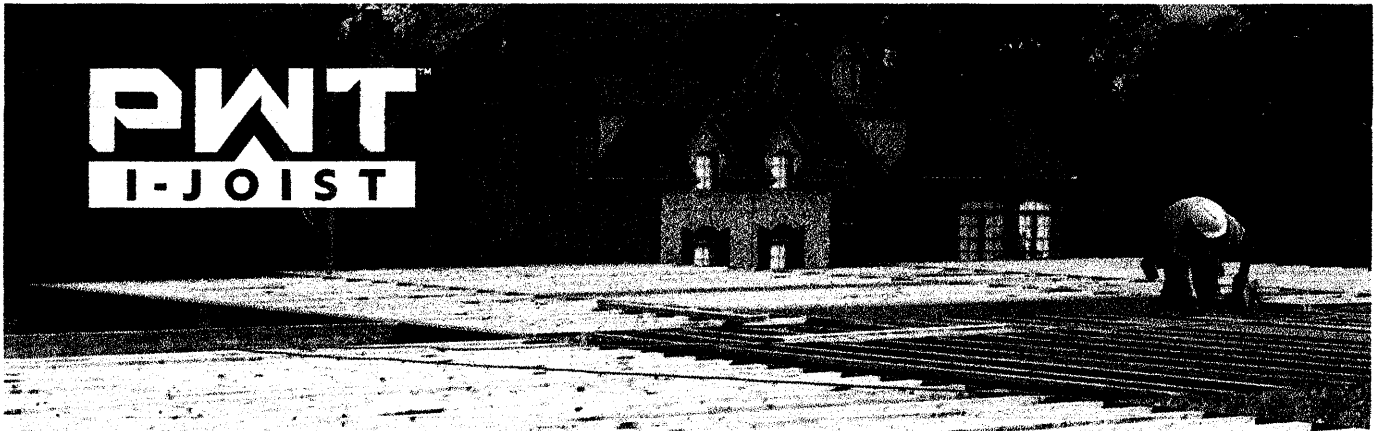
Designer: KEVIN RIBEIRO

In any case, please return one copy to our office and retain the other for your records. Once this form is received we can start preparation of final installation documents.

If you have any questions, please contact your salesman or component designer.

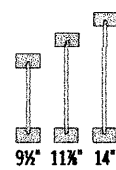
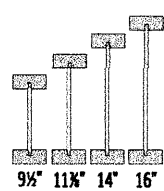

THE NATIONAL LUMBER FAMILY OF COMPANIES

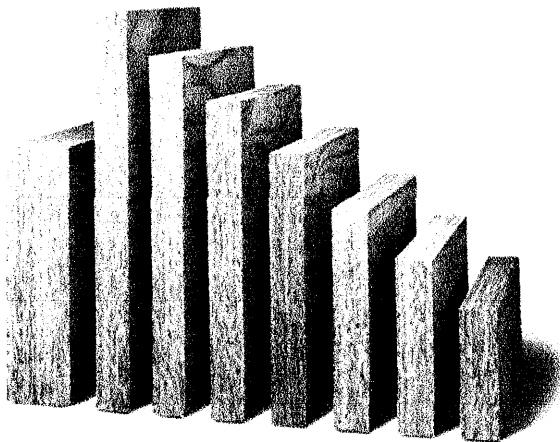




PWT I-Joist Dimensions

For more information about our complete line of products, visit pacificwoodtech.com.

<p>PWI 20 $\frac{3}{8}$" OSB Web 2$\frac{1}{2}$" x 1$\frac{1}{2}$" Flange</p>  <p>9$\frac{1}{2}$" 11$\frac{1}{2}$" 14"</p>	<p>PWI 42 $\frac{3}{8}$" OSB Web 3$\frac{1}{2}$" x 1$\frac{1}{2}$" Flange</p>  <p>9$\frac{1}{2}$" 11$\frac{1}{2}$" 14" 16"</p>	<p>PWI 90 $\frac{3}{8}$" OSB Web 3$\frac{1}{2}$" x 1$\frac{1}{2}$" Flange</p>  <p>11$\frac{1}{2}$" 14" 16"</p>
--	--	---



LVL Sizes

In-Stock

2.0E 2900Fb

1-3/4" x 7 1/4", 9-1/2", 11-7/8",

14", 16", 18", 20", 24

Available by special order

2.1E 3100Fb

3-1/2", 5-1/4" and 7" Wide



 >> **LESS LABOR**

 >> **INCREASED EFFICIENCY**

 >> **REDUCED WASTE**

 >> **QUICKER, EASIER BUILDS**

 >> **FEWER ERRORS, LESS RISK**



>> LESS LABOR

reduces labor because it's faster than traditional stick framing
—so you can build more houses in less time.

SEE CASE STUDY >>



>> QUICKER, EASIER BUILDS

gives you more speed, accuracy and control
—delivered pre-cut, smart-bundled in the order you'll use them.

>> INCREASED EFFICIENCY

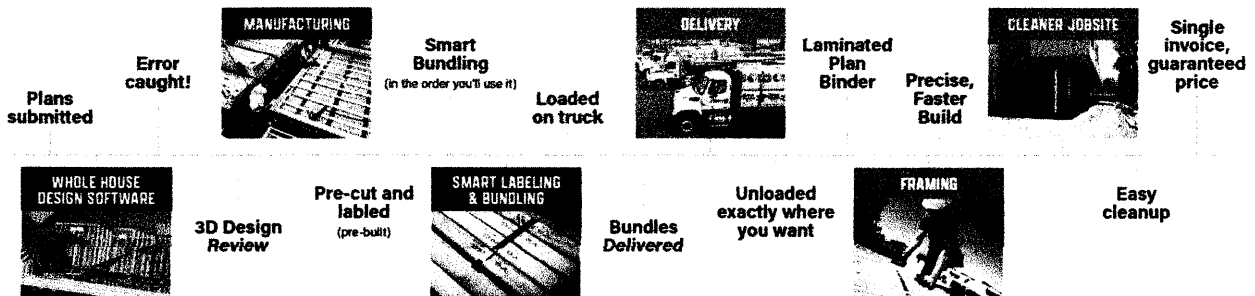
precision framing packages mean less saw and ladder time
—reduced clutter = safer jobsite.

>> FEWER ERRORS, LESS RISK

helps you frame more houses, faster—no framing mistakes and
no ripple effect through the trades = no lost time and more profit.

>> REDUCED WASTE = GREENER SOLUTIONS

an organized, safe and clean jobsite = lower disposal fees.



HOW IT WORKS



NATIONAL Lumber

Builders' FirstSource

ADDITIONAL FRAMING PRODUCTS AVAILABLE

NEW ENGLAND REGION



Helping builders since 1934 to **BUILD MORE PROFITABLY**

Before Builders FirstSource's **READY-FRAME®** products became available through National Lumber, New England builders have already had many more options for prefabricated framing products available from **National Lumber's EWP Division** and **Reliable Truss**, our manufacturing division.

With labor shortages and high disposal costs for removing waste from jobsites, our innovative choices provide the solutions you need.

We will help you **BUILD MORE PROFITABLY & EFFICIENTLY** with strong EWP materials, including precision end trimmed I-Joists and roof rafters.

»» **HIGH-Rim™ Insulated Rimboard**

Rimboard manufactured with insulation included — **SAVE TIME.**

»» **EWP Engineered Floor Systems**

Packaged and delivered with inkjet markings and plans — **LESS WASTE. SAFER JOBSITES.**

»» **Wall Panels**

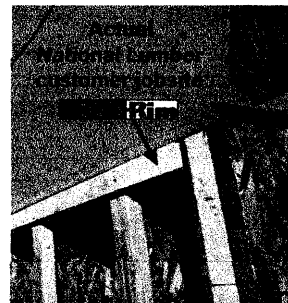
Manufactured to your specs with prepared openings delivered ready to install — **SAVE ON LABOR.**

»» **Reliable Headers**

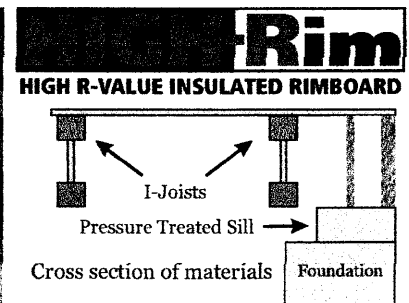
Headers manufactured with insulation included — **INCREASE EFFICIENCY.**

»» **Roof Trusses & Precut Rafters**

Both standard 2x4 construction and timber trusses delivered ready to install — **SAVE ON LABOR.**



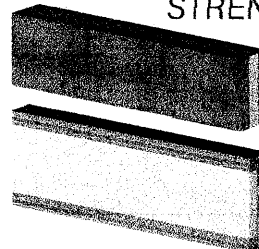
R-11 Assembly



Solid R-11 Barrier

RELIABLE HEADERS

STRENGTH AND INSULATION



- Full lengths or precision cut requested lengths
- Fully adhered Expanded Polystyrene Core
- Other sizes can be purchased special order
- Header sizing for engineered headers
- LVL and I-Joists used for engineered headers

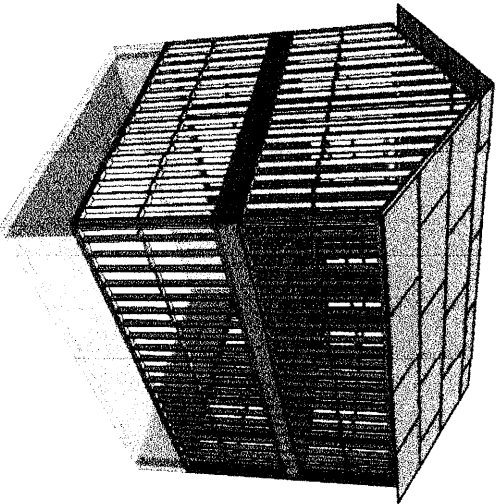
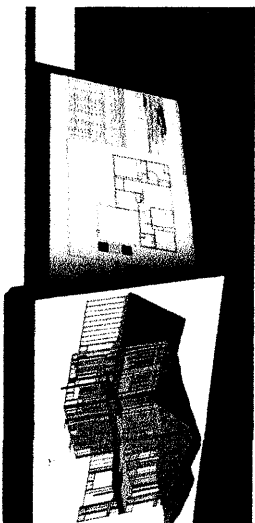
CHALLENGE ACCEPTED. SOLUTION DELIVERED.

AW #4241183
55 GIBBS AVE, NEWPORT RI
GARYN WHATMOUGH

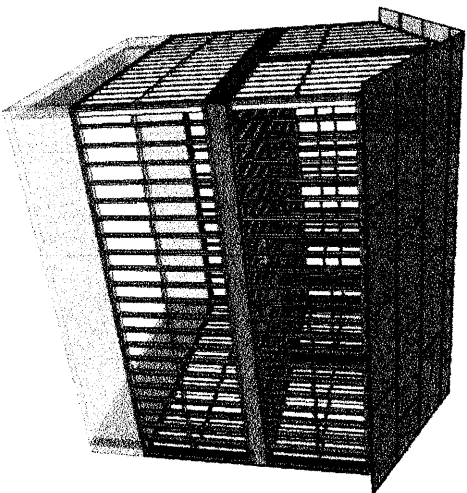
REQUEST 3D SAPPHIRE
 STRUCTURE MODEL THROUGH
 YOUR ACCOUNT MANAGER



FREE FOR iPhone, iPad, PC and
 Windows based tablets

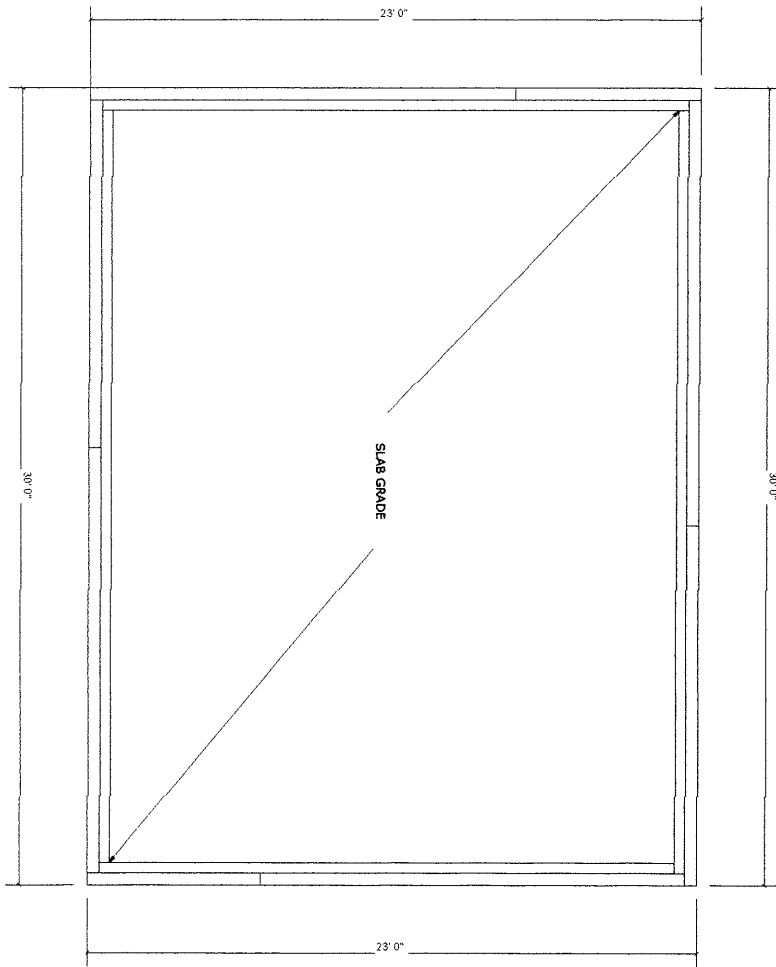


FRONT VIEW



REAR VIEW

AW # 4241183 DRAWING STATUS: NOT APPROVED SUBMIT DATE: 6/20/2014 SCALE: 1/8" = 1'-0" DESIGNED BY: A.W. CHECKED BY: KEVIN KIRKENDALL	COPYRIGHT COVER PAGE AW #4241183	CLIENT GARYN WHATMOUGH PROJECT 55 GIBBS AVE, NEWPORT RI	ENGINEERING AND MANUFACTURING 	THE 3D MODEL IS A GRAPHICAL REPRESENTATION ONLY. BUILDER IS RESPONSIBLE TO ENSURE STRUCTURE MEETS ALL APPLIED BUILDING CODES. ALL INFORMATION NOT MARKED-UP ON RETURNED APPROVAL DOCUMENTS WILL BE CONSIDERED AS FINAL AND APPROVED.	NO. DATE BY REVISION DESCRIPTION 1 - - - 2 - - - 3 - - -
					1 OF 8



WALL AREA SUMMARY
 EXIT EASEMENT WALLS (1 SIDES)
 EXIT EASEMENT WALLS (2 SIDES)

WALL AREA SUMMARY - (OPENING FOR WASTE)

EXIT EASEMENT WALLS (1 SIDES)	0 SF
EXIT EASEMENT WALLS (2 SIDES)	0 SF

REFER TO STRUCTURAL DETAILS AND STRUCTURAL NOTES PAGES FOR MORE INFORMATION

LABEL LEGEND

1/1, 2/1, ETC. - FLOOR JOIST
100, 200, 300, 400 - FLOOR TRUSS
500, 600, 700, 800, 900 - ROOF TRUSS
101, 102, ETC. - ROOF JOIST
101, 201, ETC. - FURISH BEAM
101-DRP, 201-DRP, ETC. - DRAPPED BEAM
R01, R02, ETC. - ROOF BEAM
H1, H2, ETC. - HANGER
R1, R2, ETC. - RIM BOARD
B01, B02, ETC. - BLOCKING
L01, L02, ETC. - LEDGER
P1, P2, ETC. - POST DOWN
... - POST UP
C01, C02, ETC. - COLUMN CAP / PLATE
B01, B02, ETC. - WINDOW / DOOR BESELER
B01-DRP, ETC. - WINDOW / DOOR BESELER

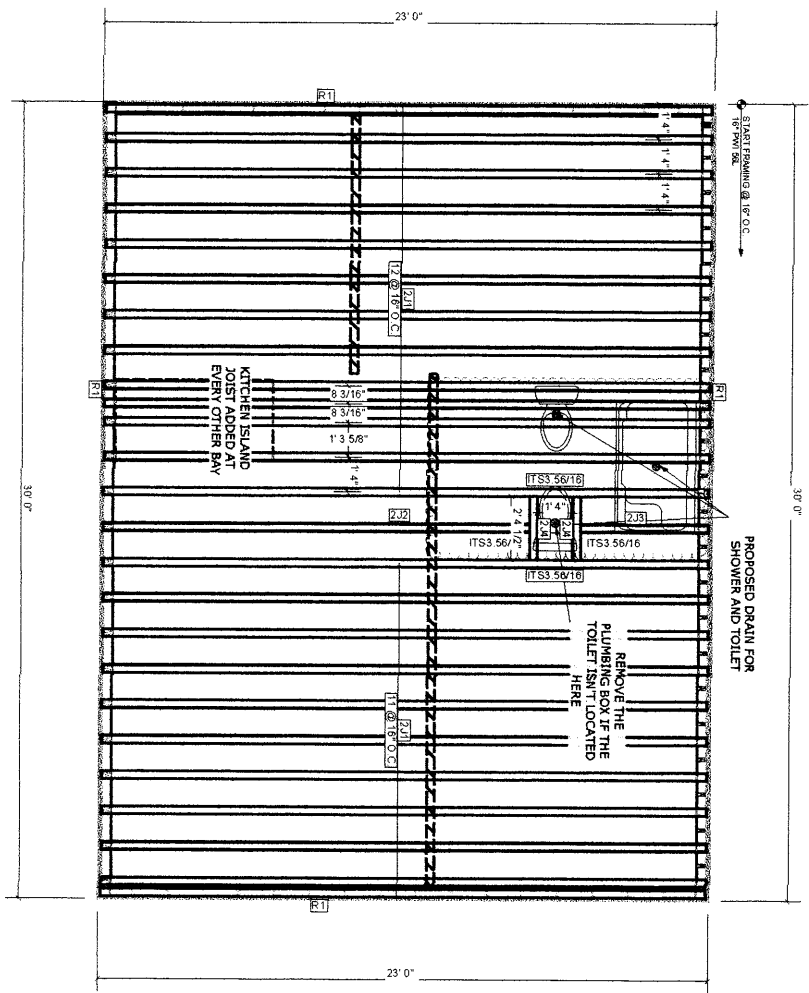
DATE: 10/11/2023 TIME: 10:00 AM DRAWN BY: [Signature] CHECKED BY: [Signature] APPROVED BY: [Signature]	NO. 1 2 3	DATE -- -- --	BY -- -- --	REVISION DESCRIPTION -- -- --
PROJECT: GARYN WHATMOUGH 55 GIBBS AVE. NEWPORT RI	ENGINEERING AND MANUFACTURING 			
THE 3D MODEL IS A GRAPHICAL REPRESENTATION ONLY. BUILDER IS RESPONSIBLE TO ENSURE STRUCTURE MEETS ALL APPLIED BUILDING CODES. ALL INFORMATION NOT MARKED-UP ON RETURNED APPROVAL DOCUMENTS WILL BE CONSIDERED AS FINAL AND APPROVED.				

FIRST FLOOR BEARING PLAN
 AW #4241183



WALL AREA SUMMARY - OPENINGS (FOR WALLS)
 EXT 1ST FLOOR WALLS (1 SIDE) 5872 SQFT
 INT 1ST FLOOR WALLS (2 SIDES) 1878 SQFT

REFER TO STRUCTURAL DETAILS AND STRUCTURAL NOTES PAGES FOR MORE INFORMATION



Product	PlatID	Length	Product	Files	Net Qty
16" PVI 56L	211	22' 9 1/2"	16" PVI 56L	1	24
16" PVI 56L	212	16' 0 3/4"	16" PVI 56L	1	1
16" PVI 56L	213	4' 9 1/2"	16" PVI 56L	1	1
16" PVI 56L	214	2' 4 1/4"	16" PVI 56L	1	2
1-16" x 16" BR. SMD BOARD OSB	51	4' 0"	1-16" x 16" BR. SMD BOARD OSB	1	2

Accessories	PlatID	Length	Product	Files	Net Qty
23/32 Advantech Subflooring T&G 4x8			23/32 Advantech Subflooring T&G 4x8	1	24

Wall Framing	PlatID	Length	Product	Files	Net Qty
PLY 4x8x1/2 CDX WEST (RED)			PLY 4x8x1/2 CDX WEST (RED)	1	33

Connector Summary		Top Nails	Supporting Mbr Fasteners	Skew	Slope
City	Manuf	Product	Flange	Supported Mbr Fasteners	Top Nails
6	Simpson	ITS3 56/16	None	-	-

LABEL LEGEND

- 1/1, 2/1, ETC. - FLOOR JOIST
- 100, 200, 300, 400 - FLOOR TRUSS
- 500, 600, 700, 800, 900 - ROOF TRUSS
- P/1, B/2, ETC. - ROOF JOIST
- 1B1, 2B1, ETC. - FLUSH BEAM
- 1B1-D/2B1, 2B1-D/2B1, ETC. - DROPPED BEAM
- PB1, PB2, ETC. - ROOF BEAM
- H1, H2, ETC. - HANGER
- R1, R2, ETC. - RIM BOARD
- BLK1, BLK2, ETC. - BLOCKING
- L01, L02, ETC. - LEDGER
- P1, P2, ETC. - POST DOWN
- CP1, CP2, ETC. - COLUMN CAP / PLATE
- BP1, BP2, ETC. - COLUMN BASE PLATE
- HD, HD/2, ETC. - ANCHOR / DOOR HEADER

NO.	DATE	BY	REVISION DESCRIPTION
1			
2			
3			

ENGINEERING AND MANUFACTURING

Nation Lumber

Builders FirstSource

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GARYN WHATMOUGH

55 GIBBS AVE.
NEWPORT RI

SECOND FLOOR FRAMING PLAN

AW #4241183

DATE: 11/11/2024

SCALE: 1/8" = 1'-0"

DESIGNED BY: [Name]

CHECKED BY: [Name]

APPROVED BY: [Name]

PLEASE NOTE THE FOLLOWING:

1. THE JOIST SPACING HAS BEEN OBTAINED FROM THE ACTUAL LENGTH TO ALLOW FOR PLAY IN THE JOIST.
2. THE PLAT ID TAG AND JOIST LENGTHS ARE INKED ON THE BOTTOM FLANGES OF THE LISTS.
3. THE INT. WALLS HAS BEEN CUT TO THE NEAREST FOOT.

THE MATERIAL YOU HAVE RECEIVED HAS BEEN PRECUT AND IS READY TO INSTALL.

THIS DOCUMENT IS THE PROPERTY OF NATION LUMBER. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

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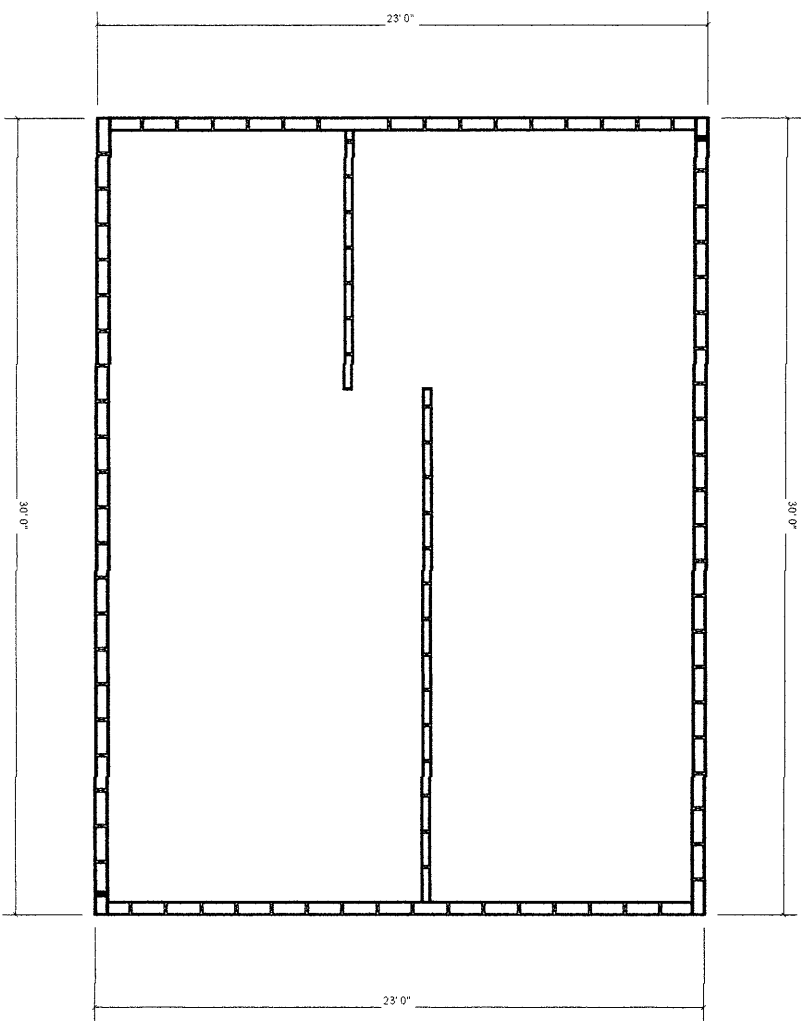
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No Nails
 No Screws
 100% RAFTER INSULATION
 RAFTER SPACING
 MINIMUM RAFTER SPACING

WALL AREA SUMMARY - OPENINGS (BY WEIGHT)

EXT. 2ND FLOOR WALLS (1 SIDES)	3375 SF SQFT
INT. 2ND FLOOR WALLS (2 SIDES)	1875 SF SQFT

REFER TO STRUCTURAL DETAILS AND STRUCTURAL NOTES PAGES FOR MORE INFORMATION



PLEASE NOTE THE FOLLOWING:

1. THE JOISTS HAVE BEEN CUT AND ARE SHORTER THAN THE ACTUAL LENGTH TO ALLOW FOR PLAY
2. THE JOIST LENGTHS ARE DIMENSIONED ON THE BOTTOM FLANGES OF THE JOIST
3. THE PLAT TO TAG AND JOIST LENGTHS ARE DIMENSIONED ON THE BOTTOM FLANGES OF THE JOIST
4. THE LV MATERIAL HAS BEEN CUT TO THE NEAREST FOOT

LABEL LEGEND

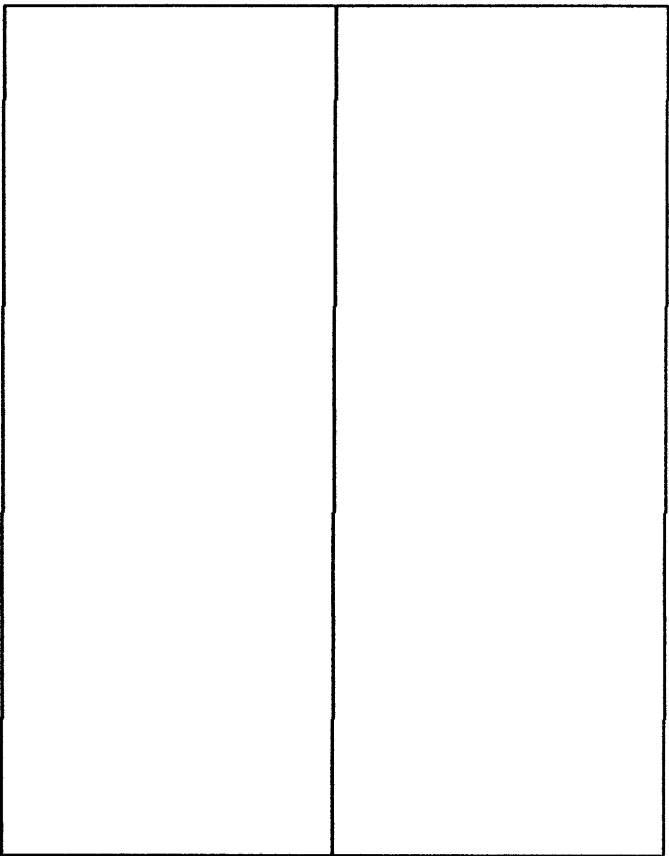
U1, J11, ETC. - FLOOR JOIST
100, 200, 300, 400 - FLOOR TRUSS
600, 800, 700, 800, 900 - ROOF TRUSS
R21, R22, ETC. - ROOF JOIST
R1, R21, ETC. - FLUSH BEAM
R100R, R101R, ETC. - DROPPED BEAM
R21, R22, ETC. - ROOF BEAM
H1, H2, ETC. - HANGER
R1, R2, ETC. - BIM BOARD
B1, B2, ETC. - BLOCKING
L1, L2, ETC. - LEADER
P1, P2, ETC. - POST DOWN
P1, P2, ETC. - POST UP
C1, C2, ETC. - COLUMN CAP / PLATE
B1, B2, ETC. - COLUMN BASE / PLATE
H100R, ETC. - WINDOW / DOOR HEADER

JOB # AW #4241183	DRAWING STATUS REV APPROVAL	DESIGNER GARYN WHATMOUGH	ENGINEERING AND MANUFACTURING 	THE 3D MODEL IS A GRAPHICAL REPRESENTATION ONLY. BUILDER IS RESPONSIBLE TO ENSURE STRUCTURE MEETS ALL APPLIED BUILDING CODES. ALL INFORMATION NOT MARKED UP ON RETURNED APPROVAL DOCUMENTS WILL BE CONSIDERED AS FINAL AND APPROVED.																
DATE 5/28/24	CHECKED BY [Signature]	PROJECT 55 GIBBS AVE. NEWPORT RI		<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>REVISION DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	NO.	DATE	BY	REVISION DESCRIPTION	1				2				3			
NO.	DATE	BY	REVISION DESCRIPTION																	
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1. WALL AREA SUMMARY - OPENINGS (OR WASTE)
 EXT. AND FLOOR WALLS (1 SIDE) | 1899.99 SQ FT
 INT. AND FLOOR WALLS (2 SIDES) | 3087.50 SQ FT

WALL AREA SUMMARY - OPENINGS (OR WASTE)
 EXT. AND FLOOR WALLS (1 SIDE) | 1899.99 SQ FT
 INT. AND FLOOR WALLS (2 SIDES) | 3087.50 SQ FT

REFER TO STRUCTURAL DETAILS AND STRUCTURAL
 NOTES PAGES FOR MORE INFORMATION



ROOF SUMMARY (OR WASTE)	
FASCIA LINES (LF)	64 FT
HIP LINES (LF)	0 FT
VALLEY LINES (LF)	0 FT
BRIDGE LINES (LF)	0 FT
ROOF SHEATHING (SQ FT)	1847.16
VALLEY LINES (LF)	0 FT

LABEL LEGEND

1/1, 2/1, ETC. - FLOOR JOIST
100, 200, 300, 400 - FLOOR TRUSS
500, 600, 700, 800, 900 - ROOF TRUSS
R1, R2, ETC. - ROOF JOIST
1B1, 2B1, ETC. - RUSH BEAM
1B1/DRP, 2B1/DRP ETC. - DROPPED BEAM
RB1, RB2, ETC. - ROOF BEAM
H1, H2, ETC. - HANGER
R1, R2, ETC. - RIM BOARD
B1/1, B1/2, ETC. - BLOCKING
CO1, CO2, ETC. - LEDGER
P1, P2, ETC. - POST/DOWN
... - POST UP
CP1, CP2, ETC. - COLUMN CAP / PLATE
BP1, BP2, ETC. - COLUMN BASE / PLATE
HD-1/DRP, ETC. - WINDOW / DOOR HEADER

NO.	DATE	BY	REVISION DESCRIPTION
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ROOF FRAMING PLAN AW #4241183	PROJECT: GARYN WHATMOUGH 55 GIBBS AVE, NEWPORT RI	ENGINEERING AND MANUFACTURING REBUILDABLE TRUSS 	THE 3D MODEL IS A GRAPHICAL REPRESENTATION ONLY. BUILDER IS RESPONSIBLE TO ENSURE STRUCTURE MEETS ALL APPLIED BUILDING CODES. ALL INFORMATION NOT MARKED-UP ON RETURNED APPROVAL DOCUMENTS WILL BE CONSIDERED AS FINAL AND APPROVED.
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MULTIPLY LVL CONNECTOR SCHEDULE

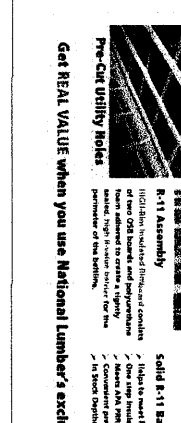
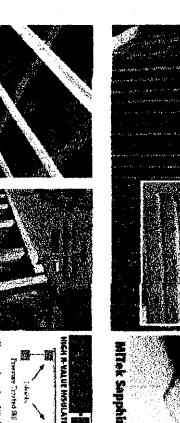
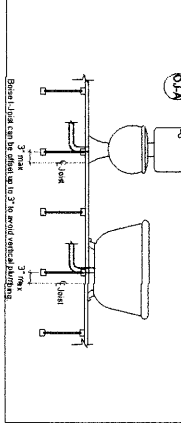
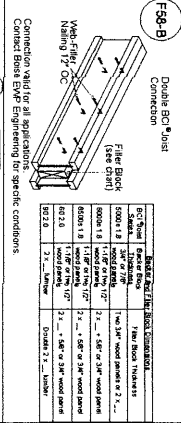
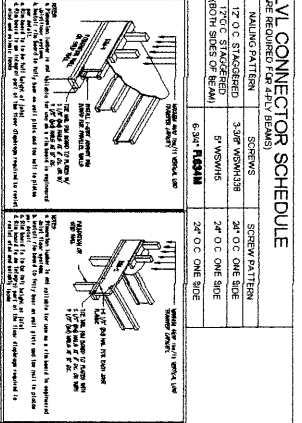
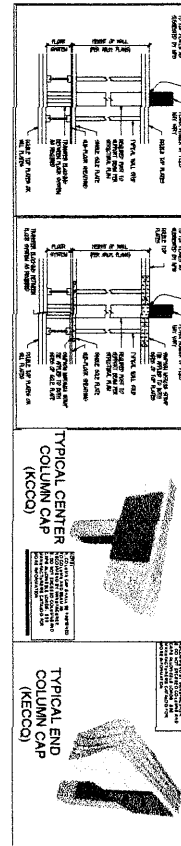
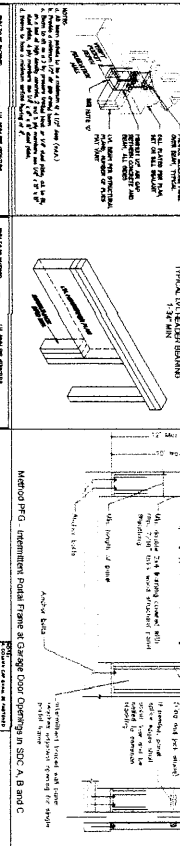
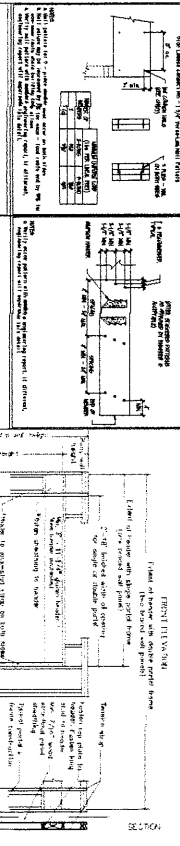
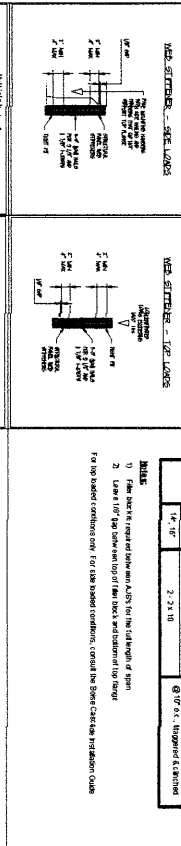
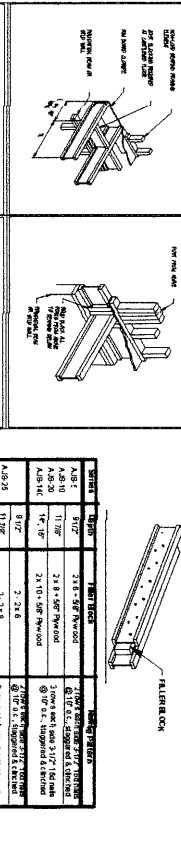
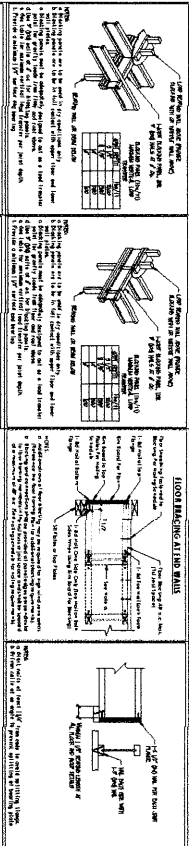
1. MULTIPLY LVL CONNECTOR SCHEDULE

2. MULTIPLY LVL CONNECTOR SCHEDULE

3. MULTIPLY LVL CONNECTOR SCHEDULE

4. MULTIPLY LVL CONNECTOR SCHEDULE

PLATE	MAX. SPAN	MIN. SPAN	MAX. SPAN	MIN. SPAN
1	160 SHINER	170 C STAGGERED	160 SHINER	170 C STAGGERED
2	160 SHINER	170 C STAGGERED	160 SHINER	170 C STAGGERED
3	160 SHINER	170 C STAGGERED	160 SHINER	170 C STAGGERED
4	160 SHINER	170 C STAGGERED	160 SHINER	170 C STAGGERED



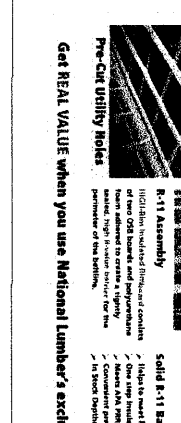
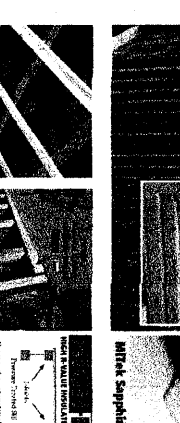
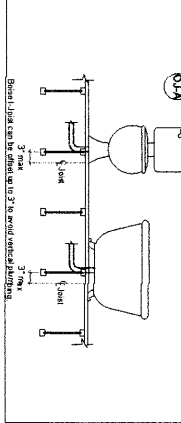
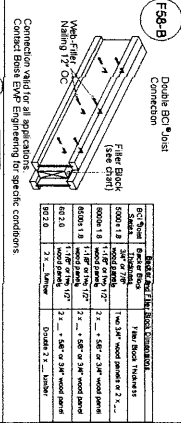
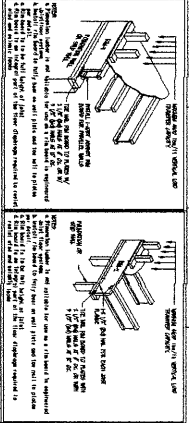
DOUBLE END TRIMMED JOISTS

1. DOUBLE END TRIMMED JOISTS

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LABEL LEGEND

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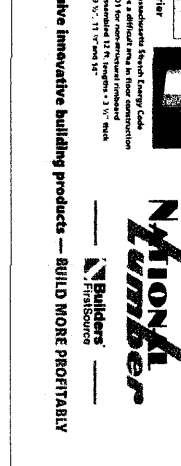
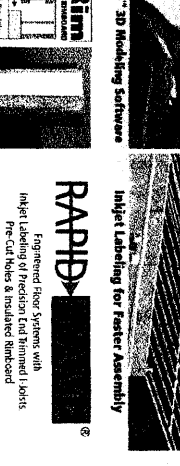
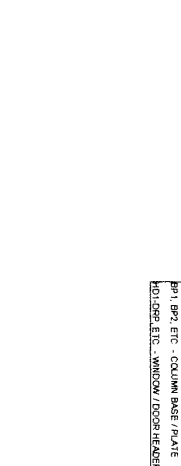
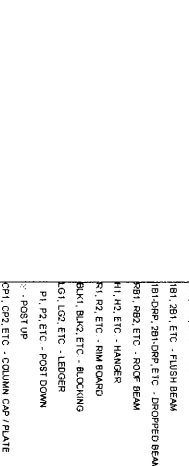
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100. LABEL LEGEND



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PROJECT INFORMATION

PROJECT: 55 GIBBS AVE, NEWPORT RI

DATE: 7 OF 8

ENGINEERING AND MANUFACTURING

AW #421183

STRUCTURAL DETAILS

AW #421183

DESIGNED BY

GARYN WHATMOUGH

DATE

7 OF 8

AW #421183

STRUCTURAL DETAILS

AW #421183

Save your crew time!

Implet Labeling for Faster Assembly

RAPID

Engineered floor systems with implet labeling of precision end trimmed joists pre-cut to a modular fit.

Builders FirstSource

Implet Labeling for Faster Assembly

Implet Labeling for Faster Assembly

Implet Labeling for Faster Assembly

Committed to Providing Intelligent Customer Service on Jobites | Materials Delivered Ready to Install

Precision End Trimmed Joists Implet Labeled for Placement

Implet Labeling for Faster Assembly

Implet Labeling for Faster Assembly

Implet Labeling for Faster Assembly

Implet Labeling for Faster Assembly

Implet Labeling for Faster Assembly

Get REAL VALUE when you use National Lumber's exclusive innovative building products — BUILD MORE PROFITABLY

Pre-Cut Utility Holes

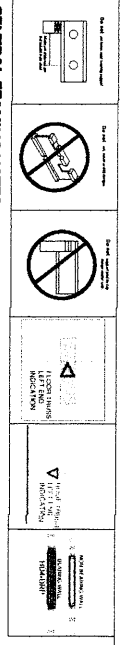
R-11 Assembly

Solid R-11 Barrier

Implet Labeling for Faster Assembly

Implet Labeling for Faster Assembly

Implet Labeling for Faster Assembly



- GENERAL FRAMING NOTES:**
- All 2x framing shown as an aid to the framer for proper installation of roof trusses, engineered wood products, steel and any other products designed by National or Reliable Truss & Components. Builder, framer and/or professional on record is responsible to ensure that all 2x material is installed to conform with all applicable building codes.
 - Layouts / placement plans are provided as a guide to the installation of metal plate connected wood trusses, engineered lumber products, light gauge steel trusses, structural steel and/or parallel walls used as framing components. Layouts shall be used in conjunction with structural drawings and details. Refer to structural drawings for all blocking, connections and misc. framing not shown on these documents. Structural drawings take precedence in case of discrepancies.
 - This placement diagram represents our best interpretation of the building documents, and material supplier agreement with our customer. Contractor and building designer should coordinate this plan with the building documents including plumbing, electrical mechanical and the safety.
 - Structural components have been designed at the request and specification of the customer as an individual building component in a vertical plan to be incorporated into the building design at the specification of the building designer.
 - All dimensions should be verified in field prior to component erection.
 - Reliable Truss & National will not accept any back charges for repairs or modifications without notification prior to work being done and without reasonable opportunity to review the problem. Back charges must be agreed upon by all parties prior to work being done.

METAL PLATE CONNECTED WOOD TRUSSES

- Lateral Restraint (Bracing) requirements shown on individual truss designs are for the lateral support of individual truss members only. Temporary bracing to insure stability of the trusses during construction is the responsibility of the truss erector.
- Reference "Building Component Safety Information BCISI 2006 Guide to Good Practice for Handling, Installing, Restraint and Bracing of Metal Plate Connected Wood Trusses" available from the Structural Building Component Association (SBCA) www.sbcadist.com and the National Design Standard for Metal Plate Connected Wood Truss Construction ANSITRP 1.
- Unless contacted otherwise, Reliable Truss & Components scope of truss engineering and design is in strict accordance with Standard Design responsibilities shown in ANSITRP 1.
- Carefully review individual truss designs and truss detail sheets for important additional design and installation information.
- Do not stack construction materials on top or roof trusses that induce loading on the trusses greater than designated loads.
- Under no circumstances shall trusses be cut or altered in any way without prior written authorization from Reliable Truss & Components.
- Contractor or building designer is responsible to assure that foundations are adequate to support the loads imposed by the trusses.
- Camber is not a structural consideration. Building designer is responsible for accommodating truss deflection in the structure.
- Dimensions shown are to face of studbearing and face of truss
- Fasten truss to bearings with one USP RT7A connector each unless noted otherwise on this drawing.
- Apply roof sheathing to supporting trusses prior to setting valley trusses u.n.o.
- Overframing must transfer loads uniformly to supporting trusses below. Trusses have not been designed for concentrated loads.
- Warning: Some hangers and uplift connectors cannot be properly installed after setting the trusses and/or sheathing the roof.
- Truss to truss, truss to beam and uplift connectors shown on this placement diagram take precedence over those that may be specified on individual component designs. Connectors shown herein meet or exceed those indicated on the individual designs for the specific application.
- Non-manufactured components may be shown on this diagram as an aid to the framer. Design responsibility is accepted only for those individual components whose sealed engineering accompanies this diagram.

DESIGN NOTES

- [01] **NOTE TO FRAMER:** please be aware the framing program used to generate this drawing may sometimes overlap structural member labels on top of each other. If you are unable to read and/or understand a member's label, please call National's engineering department at (508) 339-8020.
- [02] The floor system on this plan was engineered with the standard design load values from the local building code in effect at the time of planning. Any deviations from this document (or as shown within the plan) are the framer's responsibility. It is the framer's responsibility to verify the design load values specified within the engineering calculations or plans may require re-engineering of structural member(s) by National Lumber's engineering department.
- [03] National will meet or exceed any structural members (i.e. joists, beams and supporting members) designed by an outside Architect or Engineer as shown on the construction documents.
- [04] Reference engineered wood products (i.e. joists, LVL's, rim board, versa-lam columns, etc.) manufacturer's specific guide and/or installation guide (provided by National Lumber at time of delivery) for additional installation Wood Products department at (508) 339-8020 for a copy.
- [05] **2X FRAMING NOTE:** The conventional framing represented on this layout is based on the Architect's / Engineer's plans and is shown merely as a guide for the framer to locate proper installation of framing material as supplied by National Lumber. The General Contractor / Framer are to follow all local and state building codes when framing.

ENGINEERED WOOD PRODUCTS SPECIAL NOTES

- All 2 and 3-ply LVL beams shall be nailed together with 16d shipler nails, unless noted otherwise on this plan, see nailing schedule for additional connection info.
- All 4-ply LVL beams shall be screwed together with USP F634M wood screws. Pattern and spacing as noted on the plans
- Joists may be moved up to 3' in either direction to accommodate plumbing and/or any other construction practice.
- See foundation plan for column & footing locations.
- All beams are to be fully supported at each end with a minimum of (3) 2x4 spf #2 or (3) 2x6 spf #2 studs unless otherwise noted within these framing plans.
- Input joist below all non-bearing walls over 8' in length unless noted otherwise.
- Window & door headers are shipped in 14' lengths or longer. The material list shows the actual length to nearest foot.

4x4 WOOD FLOOR TRUSS NOTES

- Trusses spaced at 24" O.C. unless noted otherwise.
- Non-manufactured components may be shown on this diagram as an aid to the framer. Design responsibility is accepted only for those individual components whose sealed engineering accompanies this diagram.
- 2x6 Stronopak trusses are recommended or required as indicated on individual truss designs. Refer to detail sheet XX-25 for further details.
- Trusses have been shortened 1/8" at each end to better accommodate manufacturing, material and field tolerances.

LABEL LEGEND

U1, 2A1 ETC. - FLOOR JOIST	
000, 200, 300, 400 - FLOOR TRUSS	
000, 600, 700, 800, 900 - ROOF TRUSS	
P1, P2 ETC. - ROOF JOIST	
081, 201 ETC. - FLUSH BEAM	
101, 201, 201-DROP ETC. - DROPPED BEAM	
101, 102 ETC. - ROOF BEAM	
H1, H2 ETC. - HAMMER	
P1, P2 ETC. - RIM BOARD	
0241, 042, ETC. - BLOCKING	
L01, L02 ETC. - LEADER	
P1, P2 ETC. - POST DOWN	
000 - POST UP	
CP1, CP2 ETC. - COLUMN OVER PLATE	
0P1, 0P2 ETC. - COLUMN BASE PLATE	
101, 020 ETC. - WINDOW / DOOR / BENCH	

NO.	DATE	BY	REVISION DESCRIPTION
1			
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ENGINEERING AND MANUFACTURING

National Lumber

Builders FirstSource

DESIGNED BY: GARYN WHATMOUGH

PROJECT: 35 GIBBS AVE, NEWPORT RI

STRUCTURAL NOTES

AW #4241183

DATE: 8 OF 8

AW #4241183

DESIGNED BY: GARYN WHATMOUGH

CHECKED BY: LEVIN FERRIO

THIS 3D MODEL IS A GRAPHICAL REPRESENTATION ONLY. BUILDER SHALL BE RESPONSIBLE TO ENSURE ALL STRUCTURE MEETS ALL APPLIED BUILDING CODES.

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